

# LOI Form

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## *LOI*

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If you would like to complete this Letter of Intent in Word first and copy your answers over later, use the following link: [Download LOI](#)

The rubric that will be used to score your Letter of Intent can be found here: [Download LOI Rubric](#)

Please pay attention to character limits while working on your draft. These limits include spaces.

### Organization Name\*

WestCare GulfCoast-Florida Inc.

### Project Name\*

Create a brief name for this large capital project. This is how it will appear throughout the PCF grant portal.

WestCare - A Turning Point

### EIN\*

59-3714627

### Incorporation Year\*

What year did your organization incorporate? This will be the year listed on your determination letter from the Internal Revenue Service.

2001

### Organizational Mission Statement\*

What is your organization's mission statement? This should be no longer than one or two sentences.

WestCare empowers everyone with whom we come into contact to engage in a process of healing, growth and change benefiting themselves, their families, coworkers and communities.

### Unique Entity ID (SAM)

Please provide your organization's Unique Entity ID number. This is a specific number used by the federal government to identify your organization. **This is different from a DUNS number, which the federal government no longer uses.**

If you do not have a Unique Entity ID number, you can create an account on SAM.gov and apply for one here (it is free and may take 3-4 days for approval): <https://sam.gov/content/home>

This field is optional as to not stop a qualifying organization from applying. HOWEVER, a Unique Entity ID number will be required if your organization is approved for a grant. Your organization should apply for a number now if it does not yet have one.

Character Limit: 12

HNG6XDT1MNL5

### Annual Operating Budget Size\*

Please provide the amount of your annual operating budget (expenditures only) for your entire organization.

\$13,466,026.00

### Amount Requested\*

The maximum grant amount is \$5 million. You may request up to 5% for grant administration, project management, and other indirect costs. Please be sure your indirect cost rate is represented in the figure you put below.

**Note: You will be required to upload a more detailed budget if you are approved for the full application stage. You will need to also attach any bids, estimates, and agreements with contractors or other vendors in relation to the proposed project.**

\$1,533,551.00

### Does the total project cost exceed the amount your organization is requesting?\*

Please note: Answering "Yes" will cause additional questions to load later in this application.

#### Examples

ABC Childcare is seeking funding for a new playground. ABC Childcare is asking PCF to fund \$150,000 for certain equipment, and will seek other funding and donations for the remaining \$20,000 of the playground. ABC Childcare would select "Yes" for this question.

Better Tomorrow, a mental health provider, is looking to expand their counseling center by two rooms to meet increased service demand arising from the pandemic. Better Tomorrow has secured \$25,000 in private contributions, and wants to request the remaining \$125,000 in this grant. Better Tomorrow would select "Yes" for this question.

DBE Food Pantry is seeking funding for a new HVAC unit for their pantry, and is requesting \$40,000 from PCF to cover the entire cost. DBE Food Pantry would select "No" for this question.

No

## Parent Non-Profit/Subsidiaries\*

If your organization has a parent non-profit that has multiple subsidiaries, will multiple subsidiaries be applying in this process?

### Example

Better Tomorrow is the parent non-profit of three organizations. Two of those organizations want to apply in this process. Both would select "Yes" on this question.

No

## Request Specifics

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### Organization Programming Background\*

Please describe the programming your organization offers to the community and the length of time it has been doing so. That is, what does your organization **do** and **how long** has it been doing it?

WestCare GulfCoast-Florida, Inc. (WCGC), a community-based organization, is part of the WestCare Foundation network operating in 16 States and 3 Territories. WCGC consistently demonstrates its capacity to achieve programmatic goals, manage public funds, and exceed reporting requirements of funders. WCGC operates in compliance with OMB Uniform Guidance, is independently audited, is CARF accredited, and is licensed by Florida Department of Children and Families. WCGC has provided homeless services since 2001, including an emergency intervention shelter, transitional housing, supportive housing, wraparound services, rapid rehousing, case management, skills education, and treatment of substance use and co-occurring disorders. Annually, WCGC serves more than 1100 unique individuals who are homeless or are at risk of homelessness. WCGC partners with several area providers, the Veterans Administration, Pinellas County, the City of St. Petersburg, area landlords, local businesses, and other community-based resources to help ensure client success.

Since 2001, WCGC has provided health and human services to individuals experiencing homelessness. Nationally, WestCare Foundation has been a leading provider of homeless services for more than four decades. In St. Petersburg, WCGC offers transitional and supportive housing, homeless case management, rapid rehousing, and permanent supportive housing. These services are offered through three primary locations in St. Petersburg: A Turning Point, an emergency intervention shelter and inebriate receiving facility; and Mustard Seed, a 73-bed facility providing supportive housing to homeless individuals and Veterans who have begun their recovery from alcohol, substance misuse and/or mental illness offering transitional and supportive housing, case management, career/employment services, and rapid rehousing services; and Davis-Bradley Community Involvement Center, a residential treatment facility serving at-risk individuals.

### Community Need\*

Please describe the community need that exists for your programming. If you are able to cite quantitative, local data, that will strengthen your proposal.

Funding is being requested to repair and restore A Turning Point (ATP), the only inebriate-receiving facility in the county that accepts homeless adults directly from the streets. The shelter is designed to provide temporary indoor emergency and cold night shelter services to individuals who have been disconnected and alienated not only from mainstream services and supports, but from the services targeting homeless persons living with a substance use disorder and/or mental health issue – a vulnerable population, according to the Analysis of Pinellas County Point in Time (PIT) Data (2020). The State of Florida has indicated a need in our

service area for homeless clients in crisis who can be diverted from emergency hospital rooms and incarceration and be treated for medically managed withdrawal, providing an alternative to incarceration or hospitalization. Much-needed repairs and renovations will enable ATP to structurally prepare for ASAM-level 3.7 capacity expansion to meet this need.

In Pinellas County alone, there were 546 overdose deaths reported by the Medical Examiner (2020). And in the first six months of 2021, 298 overdose deaths are on track to surpass last year's record-breaking numbers. Florida Department of Health reports 2,720 non-fatal overdose emergency department visits in 2020 with most cases, 1,283, to involve opioids. Drug overdose deaths have continued to increase, growing from a rate of 44.5 per 100,000 in 2019 to 56.9 in 2020 for all drugs and 36.8 to 48.8 for opioid involved deaths. The 2019-2020 Annual Report from Florida Department of Children and Families (FL-DCF), the Single State Substance Abuse Agency, indicates they are working to shift from an acute care model of service delivery to a recovery model, attesting to the great need for an array of services and access points that meet an individual's and family's pathway to recovery and wellness.

### Negative Economic Impact\*

**The following question is the keystone of a strong application in this process. If your organization cannot demonstrate a negative economic impact from the pandemic, your application will not qualify for committee review. If you are uncertain about what constitutes negative economic impact or how to demonstrate it, please contact PCF staff for technical assistance.**

Describe your organization's negative economic impact arising from the COVID-19 pandemic. Examples could include:

- A reduction in revenue from 2019 to 2020
- Inflationary pressures
- Increases in demand for services that have not been compensated for through new revenue
- The use of reserves for unbudgeted expenses since the onset of the pandemic, and such use of reserves has prevented the purchase of capital assets
- A need for capital assets to offset community need for which your organization does not have the resources to purchase due to the negative economic harm from the pandemic
- A need for additional capital assets to adapt operations to accommodate health and safety guidelines by the CDC
- Growth in restricted pandemic-related revenue that does not permit capital asset acquisition

**Note: If you are applying for both a Small Purchase and Large Project, you may reuse the answer for this question PROVIDED THAT the negative economic impact is relevant to both requests.**

WCGC experienced significant negative economic impact from the pandemic. In FY21 (July 2020 - June 2021), WCGC experienced a \$494K budget deficit with residential treatment (Davis-Bradley), emergency shelter (A Turning Point), transitional and rapid rehousing (Mustard Seed Inn), youth drug prevention, and outpatient drug treatment programs all experiencing a deficit. Although WCGC was able to restructure programs and renegotiate contracts in FY22 (July 2021 - June 2022), WCGC ended the two-year period with a \$350K deficit. WCGC used PPP funds to assist with payroll, but this did not address all program costs or service reductions. New contracts with FL Dept. of Corrections, Central Florida Behavioral Health Network, and SAMHSA for residential treatment, prevention, recovery support, and medication assisted treatment (MAT) were the primary sources of funding that offset program costs.

FL Sixth Judicial Circuit Court (Pinellas and Pasco) suspended Drug Court services for several months which subsequently reduced referrals to residential and outpatient treatment. This, in turn, affected the number of new individuals receiving medication assisted treatment (MAT) while pandemic stress slowed the rate of client graduation – both reducing revenue and increasing costs. The combined budget deficit for residential treatment, outpatient, and MAT services was \$1,026,831 during FY21. WCGC’s Residential and Outpatient programs are critical sources of unrestricted revenue and this deficit directly impacted WCGC’s ability to purchase equipment or start capital projects. WCGC’s homeless service programs, Mustard Seed Inn and A Turning Point, saw greater than expected losses. Eviction moratoriums and critical shortages of low-income housing resulted in longer stays in transitional housing and slower rehousing; coupled with widespread reductions in entry-level service worker positions, more residents were unable to pay rent/program fees or secure move-in deposits – all of which were subsidized by WCGC. A Turning Point, the only inebriate-receiving shelter in the County reduced capacity from 65 beds to 30 beds due to social distancing. Local Street Outreach Teams reduced services (and referrals) and many individuals avoided shelters out of fear of contracting the virus. Although social distancing restrictions have eased and capacity has increased to approximately 45 beds, staffing costs have increased more than 25%, inflation has put significant pressure on soft costs, and local and regional funding shifts away from shelter care to other homeless services have prevented A Turning Point from returning to pre-pandemic service levels.

## Proposal Description\*

The American Rescue Plan Act requires a request that is reasonable and proportional to the level of economic impact your organization experienced. This means the request you describe below should not be greater than the economic harm your organization has suffered.

Please describe your project proposal and address the following:

- What project will be undertaken with these funds?
- What is the estimated lifespan of the project/property improvement?
- How does it address the negative economic harm you described in the previous question?

The project undertaken with these funds is the repair and renovation of the WCGC inebriate homeless emergency shelter facility, A Turning Point. It is an older building in need of much repair and has been in service for this programming for over 30 years. With sufficient funding, repairs and renovation will enable to the building to continue serving the most vulnerable in our communities for well over another 3 decades. In addition, renovations to the facility will enable WCGC to ensure we are “building-ready” for the State’s initiative to expand available SUD/MH medically managed withdrawal services ( from ASAM 3.2 presently to potentially include ASAM 3.7) to homeless individuals in crisis, diverting them from hospital emergency rooms and jails and thus saving a significant amount of Florida taxpayer money and strengthening our CoC’s network of streamlined wraparound services provided by WCGC’s shelter, residential, and transitional housing services.

The combined budget deficit for residential treatment, outpatient, and MAT services was \$1,026,831 during FY21. WCGC’s Residential and Outpatient programs are critical sources of unrestricted revenue and this deficit directly impacted WCGC’s ability to purchase equipment or start capital projects. Comparing our negative economic harm of \$1,026,831 with a total budgetary project request of \$1,533,551, and a total agency budget of \$13,466,026, we believe our request is reasonable and proportional to the level of economic impact our organization experienced.

## Number Served\*

How many people will directly benefit from this capital project annually?

800

## Unduplicated vs. Duplicated\*

Is the number indicated above duplicated or unduplicated?

**Duplicated:** A client is counted each time they access services

**Unduplicated:** A client is counted once, regardless of the number of times they access services

**Example:** ABC Food Bank operates two mobile food pantries, one in Clearwater and one in St. Petersburg. Taylor, a Pinellas County resident, goes to both food pantries. If ABC Food Bank counts Taylor's visit TWICE, it is **duplicated**. If ABC Food Bank counts Taylor's visit ONCE, it is **unduplicated**.

Unduplicated

## Other (Explanation Required)

If you selected "Other" in the previous question, please explain how your organization determined the number of clients that will benefit from the proposed capital project.

## Rent vs. Own\*

Does your organization rent or own the property for which you are proposing modifications?

**Note: Selecting "Rent" will cause more questions to load below.**

Own

## Guiding Principles - Client Impact\*

The American Rescue Plan Act, which provides the funding for this grant program, aims to ensure an equitable recovery from the COVID-19 pandemic. The term "equity" is defined as:

The consistent and systematic fair, just, and impartial treatment of all individuals, including individuals who belong to underserved communities that have been denied such treatment, such as Black, Latino, and Indigenous and Native American persons, Asian Americans and Pacific Islanders and other persons of color; members of religious minorities; lesbian, gay, bisexual, transgender, and queer (LGBTQ+) persons; persons with disabilities; persons who live in rural areas; and persons otherwise adversely affected by persistent poverty or inequality.

One of the guiding principles of this fund is that it will apply a lens of equity to ensure the needs of specified priority populations are met.

**Will this project benefit the community members defined above that have experienced disproportionate negative impacts from the COVID-19 pandemic? If so, how?**

In line with the one of the guiding principles of this fund, ATP serves one of the most vulnerable priority populations, the chronically homeless who experience the unfortunate cycles of substance use disorders, mental health issues, and criminal recidivism inherent in the lives of those experiencing entrenched and persistent poverty. Additionally, a third of ATP's clients are Black who are persistently and unfairly over-

represented in the criminal justice system. Many program participants are recruited from Florida's Sixth Judicial Circuit Drug Courts (Pinellas and Pasco Counties), including Veterans Treatment Court. ATP is the only inebriate-receiving facility in the county that accepts homeless adults directly from the streets to an indoor facility; providing an alternative to incarceration or hospitalization. The shelter is designed to provide temporary indoor emergency and cold night shelter services to individuals who have been disconnected and alienated not only from mainstream services and supports, but from the services targeting homeless persons living with a substance use disorder and/or mental health issue – a vulnerable population, according to the Analysis of Pinellas County Point in Time (PIT) Data (2020). WCGC specializes in serving populations with high vulnerability including individuals experiencing or at risk of homelessness and individuals with substance misuse and co-occurring disorders, Veterans, and adults involved in the criminal justice system who are disproportionately represented from underserved Black communities. As the only inebriate receiving emergency shelter in Pinellas County, the clients served at ATP are all men and women who are homeless and have low/moderate income. Based on tracked program data, at least 90% of clients are in the 30% Area Median Income (AMI) bracket, and the other 10% of clients are in the 50% and 80% AMI bracket.

## *Community Connection*

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The American Rescue Plan Act (ARPA) prioritizes organizations that either have headquarters or carry out the majority of their operations inside Qualified Census Tracts (QCTs). QCTs are a standard method of identifying communities with a large proportion of low-income residents. The U.S. Department of Housing and Urban Development determines what areas qualify as QCT.

To assess if your organization serves or is headquartered in a QCT, use the following link:

[https://www.huduser.gov/portal/sadda/sadda\\_qct.html](https://www.huduser.gov/portal/sadda/sadda_qct.html)

In the top right-hand corner, choose the state of Florida and Pinellas County. Then on the left-hand side of the screen, click the box next to "Color QCT Qualified Tracts." The QCT zones are denoted in purple. You can also map your address by adding it into the address box at the top to see if your location is inside the zones.

Below, please provide the location of your operations and the location of your headquarters, if different.

### Headquarters Location\*

Please provide your organization's headquarters address as it appears on your Sunbiz account. To check your Sunbiz registration, you may search here: <https://dos.myflorida.com/sunbiz/search/>

8800 49th Street N #402 Pinellas Park, FL 33782

### QCT Determination - Headquarters\*

Is this organization headquartered in a QCT?



No

### Project Location\*

Please provide the address or intersection where the property being modified is.

1801 5th Avenue North St. Petersburg, FL 33713

### QCT Determination - Project\*

Is this organization's project in a QCT?

No

### QCT Impact\*

PCF understands that just because a project may not be located in a Qualified Census Tract, those who reside in one may access your services and may come to the location where your organization's project will take place.

- If applicable, please describe if you have clients that reside in a QCT as indicated on the map linked above, and the proportion of your clients that come from these areas.
- If your organization does not serve clients from a QCT, you can write "Not Applicable" below.

Not Applicable.

### QCT Determination - Clients\*

Does this organization's project benefit residents of QCTs?

No

This section aims to capture general demographic data about your organization and to see how you engage with and represent the community you serve. PCF has generalized the demographic data questions more than it has in other processes because of the public nature of this process. PCF understands that identity disclosure can be a sensitive matter and wants to respect your organization's board and staff. If your organization feels comfortable sharing more detailed demographic information, it may do so in the "Community Representation and Connection" section.

### Community Representation and Connection\*

Describe how your organization is representative of, or has authentic connections to, the community your proposal seeks to serve. You can list other community-based organizations that work on programming with you and/or list examples of your work within this community.

WCGC has a myriad of active connections and referral linkages within the community our proposal seeks to serve. WCGC is an active participant in the HLA CoC. WCGC actively attends meetings and participates in the Provider's Council and Rapid Rehousing, Veterans, and Coordinated Entry Subcommittees. ATP's active

partnerships with local law enforcement and street outreach teams make it easier to place homeless individuals who are inebriated at ATP in lieu of jail. ATP also works with area hospitals, including BayCare, so they may refer clients to ATP. These robust collaborations have enabled individuals experiencing homelessness from all parts of the County to receive care and services at ATP. WCGC also works closely with Pinellas and Pasco County Health and Human Services, Pinellas and Pasco County Jails, the Pinellas County Health Department, the Veteran's Administration and others.

#### WCGC Active and Ongoing Community Partnerships and Linkages:

Pinellas County: Department of Health and Human Services: provides to WCGC Public health services, smoking cessation, wellness programs, nutrition education, mobile medical unit, and warm handoffs to weekly health van for Blue Card system of primary health care.

Bay Pines Veteran Homeless Assistance: provides to WCGC VA services available to Veterans, including health and veteran's benefits. Accepts referrals from WCGC for VA assistance and benefits administration.

Pinellas County Department of Health: provides to WCGC immunizations and vaccines, COVID-19 care, infectious disease care, TB screenings, VH/STI testing and counseling, HIV confirmatory testing and navigation, counseling, health care and public health services.

BayCare Medical Group; BayCare Health System; BayCare Pathways to Hope: provides to WCGC primary care, health coverage & urgent, emergency, specialty and primary care, lab services, and imaging. Pathways to Hope provides SA/MH navigation services. Additional referrals include community based ARNP for homeless services, St. Anthony Hospital urgent care and medical detox, and referral source for SUD treatment.

Pinellas County Sheriff's Office: Pinellas Safe Harbor is an emergency homeless shelter and a jail-diversion program designed to be a safe haven for people who are homeless and require services to get back on their feet. Linkages also include referral source for individuals requiring SUD treatment services.

### Leadership Demographics - CEO/Executive Director\*

Does your CEO/Executive Director consider themselves a member of one or more of the following populations? Check all that apply.

- BIPOC defined as Black, Latino, and Indigenous and Native American persons, Asian Americans and Pacific Islanders and other persons of color
- LGBTQ+ (Lesbian, Gay, Bisexual, Transgender, Queer+)
- Neurodiverse/physically disabled

None of the above

### Leadership Demographics - Executive Level Leadership Team\*

Does your executive leadership team consider themselves a member of one or more of the following populations? Check all that apply.

- BIPOC defined as Black, Latino, and Indigenous and Native American persons, Asian Americans and Pacific Islanders and other persons of color
- LGBTQ+ (Lesbian, Gay, Bisexual, Transgender, Queer+)

- Neurodiverse/physically disabled

BIPOC  
LGBTQ+

### Leadership Demographics - Board Membership\*

Do your board members consider themselves a member of one or more of the following populations? Check all that apply.

- BIPOC defined as Black, Latino, and Indigenous and Native American persons, Asian Americans and Pacific Islanders and other persons of color
- LGBTQ+ (Lesbian, Gay, Bisexual, Transgender, Queer+)
- Neurodiverse/physically disabled

BIPOC  
LGBTQ+

## Financial Overview

### Budget Summary\*

Please provide a brief sketch of the categories of expenses and the costs needed for your project. If your organization is requesting compensation for indirect costs, be sure to note the percentage (up to 5%) and dollar amount below.

**If you are invited to complete the full application, you will be asked to upload current verifiable bids, proposals, price lists [from your potential vendor(s)] from the past 60 days. If a contractor has already been selected for a construction project for which you are requesting funding, you will need to upload their bid. You are strongly encouraged to collect any remaining bids, proposals, and price lists shortly after submitting this LOI.**

"WestCare - A Turning Point"  
ARPA Large Project LOI Budget 2022

Project	Cost
TP Nurse's Station	\$ 250,440
TP Kitchen	\$ 351,279
TP Interior Painting and Ceiling tile replacement	\$ 174,415
TP Roof Replacement	\$ 279,407
TP Exterior Door Replacement	\$ 56,394
TP Flooring Replacement	\$ 348,590
Administration 5% of total cost	\$ 73,026
 Total Cost for TP Project	 \$ 1,533,551

## Project Preparedness\*

If your letter of intent is approved, you will have 30 days to submit a full proposal. This will require multiple estimates/bids for your project that detail the costs you've sketched out above from potential contractors that would do the actual work.

Where are you in the planning process for the implementation of this project? Please describe your organization's readiness for this project including your ability to collect bids and select contractors and/or vendors. **If you have already selected a contractor for the project, you will need to describe how that contractor was chosen.**

### Example

Better Tomorrow has spoken with contractors about their counseling center expansion project, but has only sought one proposal from a contractor. Better Tomorrow would describe so below, having sketched out the costs in the previous question. Better Tomorrow would indicate its plan to obtain more quotes/bids upon submitting this LOI.

Community Arts 'R Us has begun construction on its new arts center, as it had secured 75% of the funding for it before the pandemic. Therefore, a contractor has already been selected, and is looking to obtain the funding necessary to complete the project. Below, Community Arts 'R Us would explain it has a cost proposal ready to upload from their selected contractor, and is ready to carry out the rest of the project if funding is awarded.

This construction project involves the renovation of an existing building, A Turning Point. WCGC has received full and complete project bids for each of the 6 construction components for this renovation: Nurses' Station, Roof, Kitchen, Exterior Doors, Floor Covering, and Interior Paint. These bids have been collected from FitzHouse Enterprises, Inc. (FitzHouse) is a 502c3 nonprofit affiliate of WestCare Foundation. FitzHouse is responsible for all property leasing, acquisition and all construction and renovation related projects for all WestCare subsidiaries. FitzHouse currently maintains, in operative condition, all WestCare-related properties. These sites include residential, medical detox, outpatient, and administrative suites and are licensed as needed by their respective states and health and safety codes for their state. Maintaining these facilities include the continual remodel and upgrading of for licensed commercial kitchens, fire detection and suppression systems, commercial electric systems, commercial HVAC systems, replacement and upgrade to green technology for windows, structures, and roofing.

## Other Funding Sources\*

Please describe any other funding not already mentioned that your organization has applied for or obtained for this project. This includes but is not limited to Community Development Block Grants (CDBG), local government grants (including Tourist Development Council funding), foundation grants, and donors (you do not need to disclose donor identities, simply amount raised that is allocated to this project). This includes any matching grants or in-kind contributions you may have obtained.

If none, please write N/A.

N/A

## Changes in Operating Costs\*

Please answer this question based on the descriptions below:

- If this project **increases** ongoing operational costs (programmatic, operating maintenance or other costs), how will you compensate for the difference?
- If this project **decreases** ongoing operating costs, how will it do so?

- If this project **does not affect** operating costs, please note so below.

This project does not affect operating costs.

## Fund Management Capacity\*

Please describe your organization's capacity to manage these potential ARPA funds in terms of fiscal management and financial infrastructure.

**This includes, but is not limited to, the use of accounting software that can track a general ledger and multiple accounts and the ability to work on a reimbursement-basis.**

The inability to handle a reimbursement-basis grant does not disqualify your organization from applying.

WestCare has an established, internal, administrative fiscal system for the ongoing management of its grants and contracts and manages more than 200 federal, state, local government, and private foundation grants annually. WestCare operates in compliance with standard procedures on cost reimbursements and indirect cost accounting. All costs associated with the management of award contracts – including costs associated with the proposed program – are budgeted and processed in accordance with WestCare's Accounting Manual. WestCare has an annual audit performed that ensures compliance with the standards outlined in The Office of Management and Budget's (OMB) 2 CFR 200 – Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards, commonly referred to as The Uniform Guidance. The accounting department uses Blackbaud Financial Edge, which is specifically designed for fund accounting in nonprofit organizations, and for management of grant funds.

## Additional Information

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### Additional Upload

If you have something else to share, you can upload it here in PDF format.

**Please note: Due to limitation of this grants system, the upload field will not carry over to the full application if you are moved forward to the full application phase. You will need to upload this file again if you are moved forward in the process.**

Fitzhouse SOW-Bids for WCGC A Turning Point\_2022.pdf

### Anything else to share?

If you have any details to share regarding this grant request, you may do so below.

## File Attachment Summary

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### *Applicant File Uploads*

- Fitzhouse SOW-Bids for WCGC A Turning Point\_2022.pdf

## FitzHouse Enterprises, Inc.

207 West Main St  
Dandridge TN 37725

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### SOW Turning Point Exterior Door Replacement (1801 5<sup>th</sup> Ave North, St Petersburg FL 33713)

Date	Services Performed By:	Services Performed For:
08/29/2022	FitzHouse Enterprises, Inc. 207 West Main St Dandridge, TN 37725	WestCare-Gulf Coast 1801 5th Ave North St Petersburg FL 33713

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This Scope of Work (SOW) is issued pursuant to the Charter agreement between WestCare-Gulf Coast (“Client”) and FitzHouse Enterprises, Inc. (“Contractor”), effective 08/29/2022 (the “Agreement”). This SOW is subject to the terms and conditions contained in the Agreement between the parties and is made a part thereof. Any term not otherwise defined herein shall have the meaning specified in the Agreement. In the event of any conflict or inconsistency between the terms of this SOW and the terms of this Agreement, the terms of this SOW shall govern and prevail.

This Scope of Work (hereinafter called the “SOW”), effective as of 08/29/2022, is entered into by and between Contractor and Client, and is subject to the terms and conditions specified below. The Exhibit(s) to this SOW, if any, shall be deemed to be a part hereof. In the event of any inconsistencies between the terms of the body of this SOW and the terms of the Exhibit(s) hereto, the terms of the body of this SOW shall prevail.

## Period of Performance

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The Services shall commence on execution of grant and shall continue through Completion of project.

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# Scope of Work

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Contractor shall provide the Services and Deliverable(s) as follows:

- 1) Design, selection and installation of Exterior Doors and Hardware.
- 2) Coordination of all onsite activities.
- 3) Manage all design requirements for permitting and construction.

Turning Point Exterior Door Details



New Exterior Doors & Hardware

## Deliverable Materials

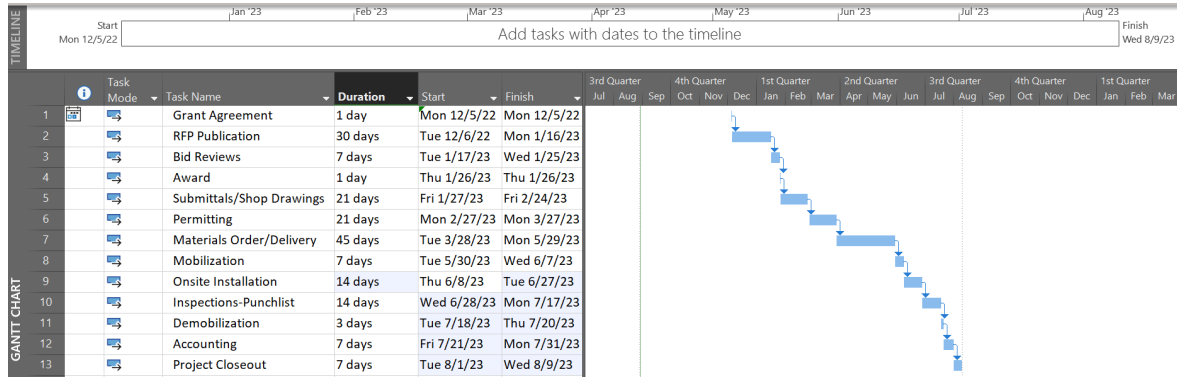
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All materials used will be sourced locally if possible.



Installation of Exterior Doors	6	EA	

### Exterior Door Installation Timeline



## Contractor Responsibilities

The contractor will ensure a timely and workmanlike completion of the work using local labor and suppliers according to the CDBG specifications for current Davis-Bacon wage determinations and time constrictions.

## Client Responsibilities

The Client will agree to provide access to the site to complete the work per agreement.

## Fee Schedule

FitzHouse Enterprises, as a 501c2 holding company for WestCare exists to support the mission of WestCare and as such does not profit from work it provides as a service to WestCare.

**FitzHouse Enterprises, has also designated a contingency fund of \$9,500 to cover incidentals such as bid publication, contract selection and unforeseen costs in the project.**

Turning Point Exterior Door Installation		
Targeted Building Costs		
Code	Name	Est
<u>0</u>	Procurement and Contracting Require	
	Conditions of Contract	\$ 4,820.00
<u>1</u>	General Requirements	
	Admin Req	\$ 3,985.00
	Execution & Close Out	\$ 2,894.00
<u>3</u>	Concrete	.
	Floor Preparation	
<u>5</u>	Metals	
	Cold Formed Metal Framing	
	Fabrications	
	Structural Metal Framing	
<u>8</u>	Openings	
	Doors & Frames	\$ 26,900.00
<u>9</u>	Finishes	
	Metal Framing & Gypsum Board	
	Painting & Coating	\$ 3,891.00
	New Ceiling Assembly	
	Flooring Installed	
<u>10</u>	Specialties	
	Hardware	\$ 8,952.00
<u>12</u>	Furnishings	
	New Stove	
	New Walk In Cooler	
	New Grease Trap	
	New Dishwasher	
<u>22</u>	Plumbing	
	Remove, Cap and Route	
23	HVAC	
	Remove and Replace Area HVAC	
<u>26</u>	Electrical	
	Demo, Plugs and Lighting	
	<b>Total Building Costs</b>	<b>\$ 51,442.00</b>
Targeted Non Building Costs		
Code	Name	
<u>2</u>	Existing Conditions	
	Demolition	\$ 4,952.00
	<b>Total Non Building Costs</b>	<b>\$ 4,952.00</b>
	<b>Total Project Costs</b>	<b>\$ 56,394.00</b>

**IN WITNESS WHEREOF**, the parties hereto have caused this SOW to be effective as of the day, month and year first written above.

WestCare-Gulf Coast

FitzHouse Enterprises, Inc.

By: \_\_\_\_\_  
Name:  
Title:

By: \_\_\_\_\_  
Name:  
Title:

## FitzHouse Enterprises, Inc.

207 West Main St  
Dandridge TN 37725

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### SOW Turning Point Flooring Installation (1801 5<sup>th</sup> Ave North, St Petersburg FL 33713)

Date	Services Performed By:	Services Performed For:
08/29/2022	FitzHouse Enterprises, Inc. 207 West Main St Dandridge, TN 37725	WestCare-Gulf Coast 1801 5th Ave North St Petersburg FL 33713

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This Scope of Work (SOW) is issued pursuant to the Charter agreement between WestCare-Gulf Coast (“Client”) and FitzHouse Enterprises, Inc. (“Contractor”), effective 08/29/2022 (the “Agreement”). This SOW is subject to the terms and conditions contained in the Agreement between the parties and is made a part thereof. Any term not otherwise defined herein shall have the meaning specified in the Agreement. In the event of any conflict or inconsistency between the terms of this SOW and the terms of this Agreement, the terms of this SOW shall govern and prevail.

This Scope of Work (hereinafter called the “SOW”), effective as of 08/29/2022, is entered into by and between Contractor and Client, and is subject to the terms and conditions specified below. The Exhibit(s) to this SOW, if any, shall be deemed to be a part hereof. In the event of any inconsistencies between the terms of the body of this SOW and the terms of the Exhibit(s) hereto, the terms of the body of this SOW shall prevail.

## Period of Performance

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The Services shall commence on execution of grant and shall continue through Completion of project.

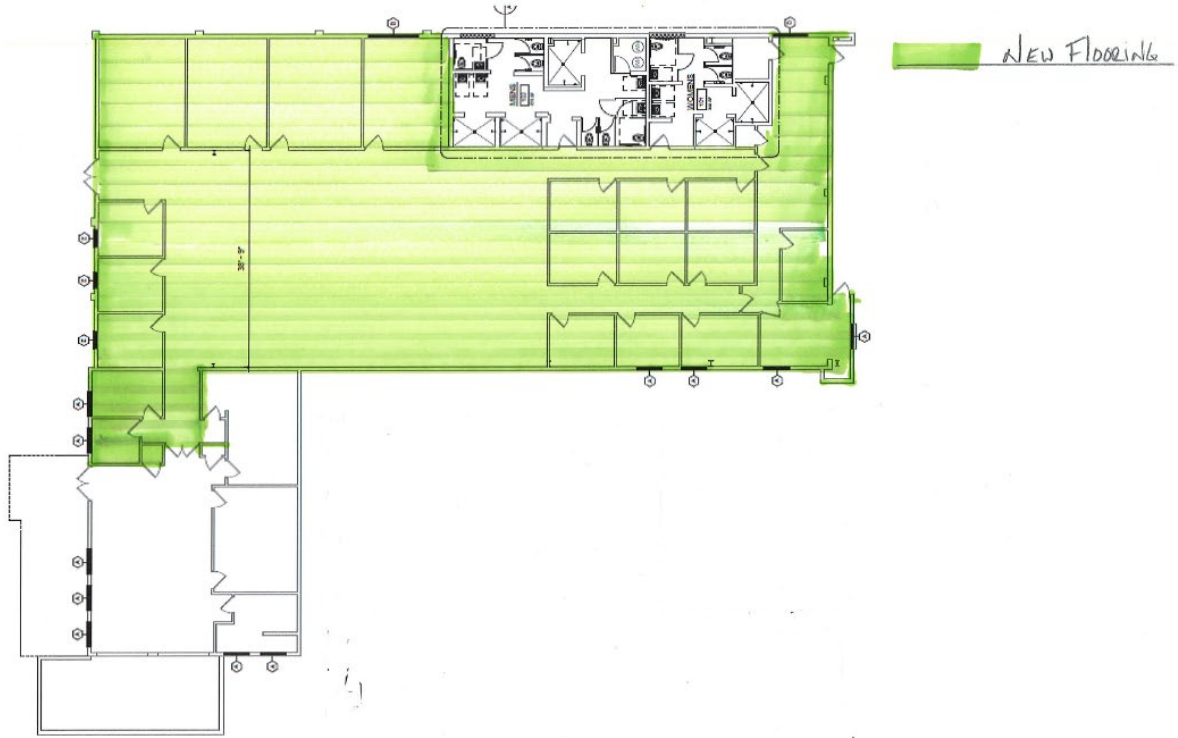
# Scope of Work

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Contractor shall provide the Services and Deliverable(s) as follows:

- 1) Design, selection and installation of Facility flooring.
- 2) Coordination of all onsite activities.
- 3) Manage all design requirements for permitting and construction.

Turning Point Flooring Details



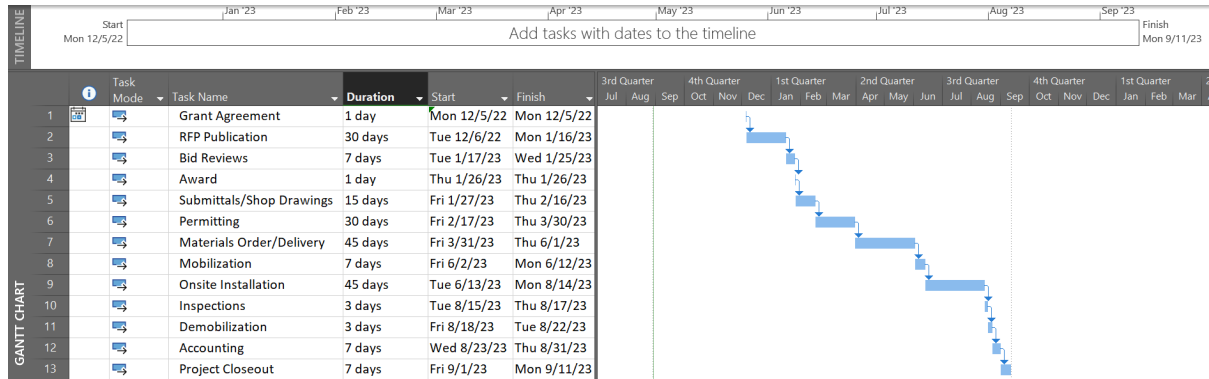
## Deliverable Materials

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All materials used will be sourced locally if possible.

Installation of New Flooring	10903	SF

### Flooring Installation Timeline



## Contractor Responsibilities

The contractor will ensure a timely and workmanlike completion of the work using local labor and suppliers according to the CDBG specifications for current Davis-Bacon wage determinations and time constrictions.

## Client Responsibilities

The Client will agree to provide access to the site to complete the work per agreement.

## Fee Schedule

FitzHouse Enterprises, as a 501c2 holding company for WestCare exists to support the mission of WestCare and as such does not profit from work it provides as a service to WestCare.

**FitzHouse Enterprises, has also designated a contingency fund of \$9,500 to cover incidentals such as bid publication, contract selection and unforeseen costs in the project.**

Turning Point Flooring Installation

Targeted Building Costs

Code	Name	Est
<u>0</u>	Procurement and Contracting Require	
	Conditions of Contract	\$ 14,575.00
<u>1</u>	General Requirements	
	Admin Req	\$ 24,892.00
	Execution & Close Out	\$ 8,851.00
<u>3</u>	Concrete	
	Floor Preparation	\$ 28,956.00
<u>5</u>	Metals	
	Cold Formed Metal Framing	
	Fabrications	
	Structural Metal Framing	
<u>8</u>	Openings	
	Doors & Frames	
<u>9</u>	Finishes	
	Metal Framing & Gypsum Board	
	Painting & Coating	
	New Ceiling Assembly	
	Flooring Installed	\$ 239,866.00
<u>10</u>	Specialties	
	Millwork & Shelving	
<u>12</u>	Furnishings	
	New Stove	
	New Walk In Cooler	
	New Grease Trap	
	New Dishwasher	
<u>22</u>	Plumbing	
	Remove, Cap and Route	
23	HVAC	
	Remove and Replace Area HVAC	
<u>26</u>	Electrical	
	Demo, Plugs and Lighting	
	<b>Total Building Costs</b>	<b>\$ 317,140.00</b>
Targeted Non Building Costs		
Code	Name	
<u>2</u>	Existing Conditions	
	Moving and Storage	\$ 31,450.00
	<b>Total Non Building Costs</b>	<b>\$ 31,450.00</b>
	<b>Total Project Costs</b>	<b>\$ 348,590.00</b>

**IN WITNESS WHEREOF**, the parties hereto have caused this SOW to be effective as of the day, month and year first written above.

WestCare-Gulf Coast

FitzHouse Enterprises, Inc.

By: \_\_\_\_\_  
Name:  
Title:

By: \_\_\_\_\_  
Name:  
Title:



## FitzHouse Enterprises, Inc.

207 West Main St  
Dandridge TN 37725

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### SOW Turning Point Interior Painting & Ceiling Tile Replacement (1801 5<sup>th</sup> Ave North, St Petersburg FL 33713)

Date	Services Performed By:	Services Performed For:
08/29/2022	FitzHouse Enterprises, Inc. 207 West Main St Dandridge, TN 37725	WestCare-Gulf Coast 1801 5th Ave North St Petersburg FL 33713

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This Scope of Work (SOW) is issued pursuant to the Charter agreement between WestCare-Gulf Coast (“Client”) and FitzHouse Enterprises, Inc. (“Contractor”), effective 08/29/2022 (the “Agreement”). This SOW is subject to the terms and conditions contained in the Agreement between the parties and is made a part thereof. Any term not otherwise defined herein shall have the meaning specified in the Agreement. In the event of any conflict or inconsistency between the terms of this SOW and the terms of this Agreement, the terms of this SOW shall govern and prevail.

This Scope of Work (hereinafter called the “SOW”), effective as of 08/29/2022, is entered into by and between Contractor and Client, and is subject to the terms and conditions specified below. The Exhibit(s) to this SOW, if any, shall be deemed to be a part hereof. In the event of any inconsistencies between the terms of the body of this SOW and the terms of the Exhibit(s) hereto, the terms of the body of this SOW shall prevail.

## Period of Performance

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The Services shall commence on execution of grant and shall continue through Completion of project.

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# Scope of Work

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Contractor shall provide the Services and Deliverable(s) as follows:

- 1) Design, selection, preparation and application of Interior Paint.
- 2) Remove and replace existing ceiling tile with new.
- 3) Coordination of all onsite activities.
- 4) Manage all design requirements for permitting and construction.

Turning Point Interior Paint & Ceiling Tile Details



## PART 1 - GENERAL

### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

### 1.2 SUMMARY

- A. Section includes surface preparation and the application of paint systems on [**interior substrates.**] [**the following interior substrates:**]

1. Concrete.
2. Clay masonry.
3. Concrete masonry units (CMU).
4. Steel.
5. Cast iron.
6. Galvanized metal.
7. Aluminum (not anodized or otherwise coated).
8. Wood.
9. Gypsum board.
10. Plaster.
11. Spray-textured ceilings.
12. Cotton or canvas insulation covering.
13. ASJ insulation covering.

B. Related Requirements:

1. Section 051200 "Structural Steel Framing" for shop priming of metal substrates with primers specified in this section.
2. Section 099113 "Exterior Painting" for surface preparation and the application of paint systems on exterior substrates.
3. Section 099300 "Staining and Transparent Finishing" for surface preparation and the application of wood stains and transparent finishes on interior wood substrates.
4. Section 099600 "High-Performance Coatings" for tile-like coatings.

### 1.3 ACTION SUBMITTALS

A. Product Data: For each type of product. Include preparation requirements and application instructions.

1. Indicate VOC content.

B. Sustainable Design Submittals:

1. Product Data for LEED 2009 Credit EQ 4.2: For paints and coatings, showing printed statement of VOC content.
2. Laboratory Test Reports: For paints and coatings, indicating compliance with LEED 2009 Credit EQ 4.2 requirements for low-emitting materials.

C. Samples for Initial Selection: For each type of topcoat product.

D. Samples for Verification: For each type of paint system and in each color and gloss of topcoat.

1. Submit Samples on rigid backing, 8 inches (200 mm) square.
2. Label each coat of each Sample.
3. Label each Sample for location and application area.

E. Product List: For each product indicated, include the following:

1. Cross-reference to paint system and locations of application areas. Use same designations indicated on Drawings and in schedules.
2. Indicate VOC content.

#### 1.4 CLOSEOUT SUBMITTALS

1. Coating Maintenance Manual: Provide coating maintenance manual including area summary with finish schedule, area detail designating location where each product/color/finish was used, product data pages, material safety data sheets, care and cleaning instructions, touch-up procedures, and color samples of each color and finish used.

#### 1.5 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials[, **from the same product run,**] that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.

1. Paint: [**1 gal. (3.8 L)**] <Insert value> of each material and color applied.

#### 1.6 QUALITY ASSURANCE

- A. Mockups: Apply mockups of each paint system indicated and each color and finish selected to verify preliminary selections made under Sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.

1. Architect will select one surface to represent surfaces and conditions for application of each paint system specified in Part 3.
  - a. Vertical and Horizontal Surfaces: Provide samples of at least **100 sq. ft. (9 sq. m)**.
  - b. Other Items: Architect will designate items or areas required.
2. Final approval of color selections will be based on mockups.
  - a. If preliminary color selections are not approved, apply additional mockups of additional colors selected by Architect at no added cost to Owner.
3. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing.
4. Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

## 1.7 DELIVERY, STORAGE, AND HANDLING

- A. Delivery and Handling: Deliver products to Project site in an undamaged condition in manufacturer's original sealed containers, complete with labels and instructions for handling, storing, unpacking, protecting, and installing. Packaging shall bear the manufacturer's label with the following information:
  - 1. Product name and type (description).
  - 2. Batch date.
  - 3. Color number.
  - 4. VOC content.
  - 5. Environmental handling requirements.
  - 6. Surface preparation requirements.
  - 7. Application instructions.
- B. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than **45 deg F (7 deg C)**.
  - 1. Maintain containers in clean condition, free of foreign materials and residue.
  - 2. Remove rags and waste from storage areas daily.

## 1.8 FIELD CONDITIONS

- A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between **50 and 95 deg F (10 and 35 deg C)**.
- B. Do not apply paints when relative humidity exceeds 85 percent; at temperatures less than **5 deg F (3 deg C)** above the dew point; or to damp or wet surfaces.
- C. Lead Paint: It is not expected that lead paint will be encountered in the Work.
  - 1. If suspected lead paint is encountered, do not disturb; immediately notify Architect and Owner.
- D. Lead Paint: Lead paint **[is] [may be]** present in buildings and structures to be painted. A report on the presence of lead paint is on file for review and use. Examine report to become aware of locations where lead paint is present.
  - 1. Do not disturb lead paint or items suspected of containing hazardous materials except under procedures specified.
  - 2. Perform preparation for painting of substrates known to include lead paint in accordance with EPA Renovation, Repair and Painting Rule and additional requirements of authorities having jurisdiction.

## PART 2 - PRODUCTS

### 2.1 MANUFACTURERS

- A. Basis-of-Design Product: Subject to compliance with requirements, provide Sherwin-Williams Company (The); products indicated or comparable product from one of the following:
1. **<Insert manufacturer's name>**.
- B. Comparable Products: Comparable products of approved manufacturers will be considered in accordance with Section 016000 "Product Requirements," and the following:
1. Products are approved by manufacturer in writing for application specified.
  2. Products meet performance and physical characteristics of basis of design product including published ratio of solids by volume, plus or minus two percent.
- C. Source Limitations: Obtain paint materials from single source from single listed manufacturer.
1. Manufacturer's designations listed on a separate color schedule are for color reference only and do not indicate prior approval.

### 2.2 PAINT, GENERAL

- A. Material Compatibility:
1. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
  2. For each coat in a paint system, provide products recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.
- B. VOC Content: For field applications that are inside the weatherproofing system, paints and coatings shall provide materials that comply with VOC limits of authorities having jurisdiction and for interior paints and coatings applied at Project site, the following VOC limits exclusive of colorants added to a tint base, when calculated according to 40 CFR 59, Subpart D (EPA Method 24):
1. Flat Paints and Coatings: 50 g/L.
  2. Nonflat Paints and Coatings: 150 g/L.
  3. Primers, Sealers, and Undercoaters: 200 g/L.
  4. Anticorrosive and Antirust Paints Applied to Ferrous Metals: 250 g/L.
  5. Floor Coatings: 100 g/L.
  6. Shellacs, Clear: 730 g/L.
  7. Shellacs, Pigmented: 550 g/L.

- C. Low-Emitting Materials: Interior paints and coatings shall comply with the testing and product requirements of the California Department of Health Services' "Standard Practice for the Testing of Volatile Organic Emissions from Various Sources Using Small Scale Environmental Chambers."
- D. Colors: [As selected by Architect from manufacturer's full range] [Match Architect's samples] [As indicated in a color schedule] <Insert requirements>.
  - 1. [10] [20] [30] <Insert number> percent of surface area will be painted with deep tones.

## 2.3 SOURCE QUALITY CONTROL

- A. Testing of Paint Materials: Owner reserves the right to invoke the following procedure:
  - 1. Owner will engage the services of a qualified testing agency to sample paint materials. Contractor will be notified in advance and may be present when samples are taken. If paint materials have already been delivered to Project site, samples may be taken at Project site. Samples will be identified, sealed, and certified by testing agency.
  - 2. Testing agency will perform tests for compliance with product requirements.
  - 3. Owner may direct Contractor to stop applying coatings if test results show materials being used do not comply with product requirements. Contractor shall remove noncomplying paint materials from Project site, pay for testing, and repaint surfaces painted with rejected materials. Contractor will be required to remove rejected materials from previously painted surfaces if, on repainting with complying materials, the two paints are incompatible.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of the Work. Verify suitability of substrates, including surface conditions and compatibility with existing finishes and primers. Where acceptability of substrate conditions is in question, apply samples and perform in-situ testing to verify compatibility, adhesion, and film integrity of new paint application.
  - 1. Report, in writing, conditions that may affect application, appearance, or performance of paint.
- B. Substrate Conditions:
  - 1. Maximum Moisture Content of Substrates: When measured with an electronic moisture meter as follows:
    - a. Concrete: 12 percent.

- b. Masonry (Clay and CMU): 12 percent.
  - c. Wood: 15 percent.
  - d. Gypsum Board: 12 percent.
  - e. Plaster: 12 percent.
- 2. Gypsum Board Substrates: Verify that finishing compound is sanded smooth.
  - 3. Plaster Substrates: Verify that plaster is fully cured.
  - 4. Spray-Textured Ceiling Substrates: Verify that surfaces are dry.
- C. Proceed with coating application only after unsatisfactory conditions have been corrected; application of coating indicates acceptance of surfaces and conditions.

### 3.2 PREPARATION

- A. Comply with manufacturer's written instructions and recommendations in "MPI Manual" applicable to substrates indicated.
- B. Remove hardware, covers, plates, and similar items already in place that are removable and are not to be painted. If removal is impractical or impossible because of size or weight of item, provide surface-applied protection before surface preparation and painting.
  - 1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection if any.
- C. Clean substrates of substances that could impair bond of paints, including dust, dirt, oil, grease, and incompatible paints and encapsulants.
  - 1. Remove incompatible primers and reprime substrate with compatible primers or apply tie coat as required to produce paint systems indicated.
- D. Concrete Substrates: Remove release agents, curing compounds, efflorescence, and chalk. Do not paint surfaces if moisture content or alkalinity of surfaces to be painted exceeds that permitted in manufacturer's written instructions.
  - 1. Concrete Floors: Remove oil, dust, grease, dirt, and other foreign materials. Comply with SSPC-SP-13/NACE 6 or ICRI 03732.
- E. Masonry Substrates: Remove efflorescence and chalk. Do not paint surfaces if moisture content or alkalinity of surfaces or mortar joints exceed that permitted in manufacturer's written instructions.
- F. Steel Substrates: Remove rust, loose mill scale, and shop primer, if any. Clean using methods recommended in writing by paint manufacturer[.] [ **but not less than the following:**]
  - 1. SSPC-SP 2, "Hand Tool Cleaning."
  - 2. SSPC-SP 3, "Power Tool Cleaning."
  - 3. SSPC-SP 7/NACE No. 4, "Brush-off Blast Cleaning."
  - 4. SSPC-SP 11, "Power Tool Cleaning to Bare Metal."



- G. Shop-Primed Steel Substrates: Clean field welds, bolted connections, and abraded areas of shop paint, and paint exposed areas with the same material as used for shop priming to comply with SSPC-PA 1 for touching up shop-primed surfaces.
- H. Galvanized-Metal Substrates: Remove grease and oil residue from galvanized sheet metal fabricated from coil stock by mechanical methods to produce clean, lightly etched surfaces that promote adhesion of subsequently applied paints.
- I. Aluminum Substrates: Remove loose surface oxidation.
- J. Wood Substrates:
  - 1. Scrape and clean knots, and apply coat of knot sealer before applying primer.
  - 2. Sand surfaces that will be exposed to view, and dust off.
  - 3. Prime edges, ends, faces, undersides, and backsides of wood.
  - 4. After priming, fill holes and imperfections in the finish surfaces with putty or plastic wood filler. Sand smooth when dried.
- K. Cotton or Canvas Insulation Covering Substrates: Remove dust, dirt, and other foreign material that might impair bond of paints to substrates.

### 3.3 APPLICATION

- A. Apply paints according to manufacturer's written instructions and to recommendations in "MPI Manual."
  - 1. Use applicators and techniques suited for paint and substrate indicated.
  - 2. Paint surfaces behind movable equipment and furniture same as similar exposed surfaces. Before final installation, paint surfaces behind permanently fixed equipment or furniture with prime coat only.
  - 3. Paint front and backsides of access panels, removable or hinged covers, and similar hinged items to match exposed surfaces.
  - 4. Do not paint over labels of independent testing agencies or equipment name, identification, performance rating, or nomenclature plates.
  - 5. Primers specified in painting schedules may be omitted on items that are factory primed or factory finished if acceptable to topcoat manufacturers.
- B. Tint each undercoat a lighter shade to facilitate identification of each coat if multiple coats of same material are to be applied. Tint undercoats to match color of topcoat, but provide sufficient difference in shade of undercoats to distinguish each separate coat.
- C. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform paint finish, color, and appearance.
- D. Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.

E. Painting Fire Suppression, Plumbing, HVAC, Electrical, Communication, and Electronic Safety and Security Work:

1. Paint the following work where exposed in equipment rooms:
  - a. Equipment, including panelboards[ **and switch gear**].
  - b. Uninsulated metal piping.
  - c. Uninsulated plastic piping.
  - d. Pipe hangers and supports.
  - e. Metal conduit.
  - f. Plastic conduit.
  - g. Tanks that do not have factory-applied final finishes.
  - h. Duct, equipment, and pipe insulation having cotton or canvas insulation covering or other paintable jacket material.
  - i. **<Insert mechanical items to be painted>**.
2. Paint the following work where exposed in occupied spaces:
  - a. Equipment, including panelboards.
  - b. Uninsulated metal piping.
  - c. Uninsulated plastic piping.
  - d. Pipe hangers and supports.
  - e. Metal conduit.
  - f. Plastic conduit.
  - g. Duct, equipment, and pipe insulation having cotton or canvas insulation covering or other paintable jacket material.
  - h. Other items as directed by Architect.
  - i. **<Insert mechanical items to be painted>**.
3. Paint portions of internal surfaces of metal ducts, without liner, behind air inlets and outlets that are visible from occupied spaces.

### 3.4 FIELD QUALITY CONTROL

- A. Dry Film Thickness Testing: Owner may engage the services of a qualified testing and inspecting agency to inspect and test paint for dry film thickness.
  1. Contractor shall touch up and restore painted surfaces damaged by testing.
  2. If test results show that dry film thickness of applied paint does not comply with paint manufacturer's written recommendations, Contractor shall pay for testing and apply additional coats as needed to provide dry film thickness that complies with paint manufacturer's written recommendations.

### 3.5 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.

- B. After completing paint application, clean spattered surfaces. Remove spattered paints by washing, scraping, or other methods. Do not scratch or damage adjacent finished surfaces.
- C. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.
- D. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

### 3.6 INTERIOR MICROBICIDAL PAINTING SCHEDULE

- A. Concrete Substrates, Nontraffic Surfaces[ **and Clay Masonry**]:
  - 1. Microbicidal Latex Finish System: With topcoat EPA registered No. 64695-1.
    - a. Prime Coat: Primer sealer, latex, interior:
      - 1) S-W Loxon Concrete & Masonry Primer Sealer, A24W8300, at **8.0 mils (0.203 mm)** wet, **3.2 mils (0.081 mm)** dry.
    - b. First Coat: Microbicidal Latex, interior, matching topcoat.
    - c. Topcoat: Microbicidal Latex, interior, eggshell:
      - 1) S-W Paint Shield Interior Latex Eg-Shel Microbicidal Paint, D12W51, at **4.0 mils (0.102 mm)** wet, **1.8 mils (0.046 mm)** dry, per coat. Brush and roll application only.
- B. CMU Substrates:
  - 1. Microbicidal Latex Finish System: With topcoat EPA registered No. 64695-1.
    - a. Block Filler: [**One or two coats as required:**] Block filler, latex, interior/exterior:
      - 1) S-W Loxon Block Surfacer, A24W200, at **10.0 mils (0.254 mm)** wet, **8.0 mils (0.203 mm)** dry, per coat.
    - b. First Coat: Microbicidal Latex, interior, matching topcoat.
    - c. Topcoat: Microbicidal Latex, interior, eggshell:
      - 1) S-W Paint Shield Interior Latex Eg-Shel Microbicidal Paint, D12W51, at **4.0 mils (0.102 mm)** wet, **1.6 mils (0.041 mm)** dry, per coat. Brush and roll application only.
- C. Wood Substrates: Including exposed wood items not indicated to receive shop-applied finish.
  - 1. Microbicidal Latex Finish System: With topcoat EPA registered No. 64695-1.
    - a. Prime Coat: Primer, latex, interior, anti-microbial:

- 1) S-W PrepRite ProBlock Interior/Exterior Latex Primer/Sealer, at **4.0 mils (0.102 mm)** wet, **1.5 mils (0.038 mm)** dry.
  - b. First Coat: Microbical Latex, interior, matching topcoat.
  - c. Topcoat: Microbical Latex, interior, eggshell:
  - 1) S-W Paint Shield Interior Latex Eg-Shel Microbical Paint, D12W51, at **4.0 mils (0.102 mm)** wet, **1.8 mils (0.046 mm)** dry, per coat. Brush and roll application only.
- D. [Gypsum Board] [Plaster] [and] [Spray-Texture Ceiling] Substrates:
- 1. Microbical Latex Finish System: With topcoat EPA registered No. 64695-1.
    - a. Prime Coat: Primer, latex, interior:
      - 1) S-W ProMar 200 Zero VOC Latex Primer, B28W2600, at **4.0 mils (0.102 mm)** wet, **1.0 mils (0.025 mm)** dry.
    - b. First Coat: Microbical Latex, interior, matching topcoat.
    - c. Topcoat: Microbical Latex, interior, eggshell:
      - 1) S-W Paint Shield Interior Latex Eg-Shel Microbical Paint, D12W51, at **4.0 mils (0.102 mm)** wet, **1.8 mils (0.046 mm)** dry, per coat. Brush and roll application only.

### 3.7 INTERIOR PAINTING SCHEDULE

- A. Concrete Substrates, Nontraffic Surfaces[ **and Clay Masonry**]:
- 1. Latex System:
    - a. Prime Coat: Primer, latex, interior.
      - 1) S-W Loxon Concrete & Masonry Primer Sealer, A24W8300, at **8.0 mils (0.203 mm)** wet, **3.2 mils (0.081 mm)** dry.
    - b. Intermediate Coat: Latex, interior, matching topcoat.
    - c. Topcoat: Latex, interior, flat.
      - 1) S-W ProMar 200 Zero VOC Latex Flat, B30-2600 Series, at **4.0 mils (0.102 mm)** wet, **1.6 mils (0.041 mm)** dry, per coat.
    - d. Topcoat: Latex, interior, low sheen.
      - 1) S-W ProMar 200 Zero VOC Latex Low Sheen Eg-Shel, B24-2600 Series, at **4.0 mils (0.102 mm)** wet, **1.6 mils (0.041 mm)** dry, per coat.
    - e. Topcoat: Latex, interior, eggshell.

- 1) S-W ProMar 200 Zero VOC Latex Eg-Shel, B20-2600 Series, at **4.0 mils (0.102 mm)** wet, **1.7 mils (0.043 mm)** dry, per coat .
  - f. Topcoat: Latex, interior, semi-gloss.
    - 1) S-W ProMar 200 Zero VOC Latex Semi-Gloss, B31-2600 Series, at **4.0 mils (0.102 mm)** wet, **1.6 mils (0.041 mm)** dry, per coat .
  - g. Topcoat: Latex, interior, gloss.
    - 1) S-W ProMar 200 Zero VOC Gloss, B21-12650 Series, at **4.0 mils (0.102 mm)** wet, **1.4 mils (0.036 mm)** dry, per coat.
  2. Water-Based Light Industrial Coating System:
    - a. Prime Coat: Primer sealer, latex, interior:
      - 1) S-W Loxon Concrete & Masonry Primer Sealer, A24W8300, at **8.0 mils (0.203 mm)** wet, **3.2 mils (0.081 mm)** dry.
    - b. Intermediate Coat: Light industrial coating, interior, water based, matching topcoat.
    - c. Topcoat: Light industrial coating, interior, water based, eggshell:
      - 1) S-W Pro Industrial Pre-Catalyzed Water Based Epoxy, K45-151 Series, at **4.0 mils (0.102 mm)** wet, **1.5 mils (0.038 mm)** dry, per coat.
    - d. Topcoat: Light industrial coating, interior, water based, semi-gloss:
      - 1) S-W Pro Industrial Pre-Catalyzed Water Based Epoxy, K46-151 Series, at **4.0 mils (0.102 mm)** wet, **1.5 mils (0.038 mm)** dry, per coat.
  3. Two-Component Epoxy and Epoxy High Build Systems for Non-Traffic Surfaces: Refer to Section 099600 "High-Performance Coatings."
  4. Concrete Stain System (Water-based) for Vertical Surfaces:
    - a. First Coat:
      - 1) S-W H&C Colortop Water-Based Solid Color Concrete Stain, at **50 to 300 sq. ft. per gal. (1.23 to 7.36 sq. m per liter)**.
    - b. Second Coat:
      - 1) S-W H&C Colortop Water-Based Solid Color Concrete Stain, at **50 to 300 sq. ft. per gal. (1.23 to 7.36 sq. m per liter)**.
- B. Concrete Substrates, Pedestrian Traffic Surfaces:
1. Latex Floor Enamel System:
    - a. First Coat: Floor paint, latex, slip-resistant, matching topcoat.
    - b. Topcoat: Floor paint, latex, slip-resistant, low gloss: S-W ArmorSeal Tread-Plex, B90 Series, at **1.5 to 2.0 mils (0.038 to 0.051 mm)** dry per coat.

2. Clear Acrylic System, Gloss Finish:
    - a. First Coat:
      - 1) S-W H&C Clarishield Water-Based Wet-Look Concrete Sealer, at **100 to 200 sq. ft. per gal. (2.45 to 4.91 sq. m per liter)**.
    - b. Second Coat:
      - 1) S-W H&C Clarishield Water-Based Wet-Look Concrete Sealer, at **100 to 200 sq. ft. per gal. (2.45 to 4.91 sq. m per liter)**.
  3. Concrete Stain System (Water-based):
    - a. First Coat: Low-luster opaque finish:
      - 1) S-W H&C Colortop Water-Based Solid Color Concrete Stain, at **50 to 300 sq. ft. per gal. (1.23 to 7.36 sq. m per liter)**.
    - b. Second Coat: Low-luster opaque finish:
      - 1) S-W H&C Colortop Water-Based Solid Color Concrete Stain, at **50 to 300 sq. ft. per gal. (1.23 to 7.36 sq. m per liter)**.
  4. Epoxy and Urethane Coatings: Refer to Section 099600 "High-Performance Coatings."
  5. Epoxy- and Urethane- Based Aggregate-Filled Floor Surfacing: Refer to Section 09 67 23 "Resinous Flooring."
- C. CMU Substrates:
1. Latex System:
    - a. Block Filler: Block filler, latex, interior/exterior:
      - 1) S-W PrepRite Block Filler, B25W25, at **75-125 sq. ft. per gal. (1.84 to 3.07 sq. m per liter)**.
    - b. Intermediate Coat: Latex, interior, matching topcoat.
    - c. Topcoat: Latex, interior, flat:
      - 1) S-W ProMar 200 Zero VOC Latex Flat, B30-2600 Series, at **4.0 mils (0.102 mm) wet, 1.6 mils (0.041 mm) dry, per coat.**
    - d. Topcoat: Latex, interior, low sheen:
      - 1) S-W ProMar 200 Zero VOC Latex Low Sheen Enamel, B24-2600 Series, at **4.0 mils (0.102 mm) wet, 1.6 mils (0.041 mm) dry, per coat.**
    - e. Topcoat: Latex, interior, eggshell:
      - 1) S-W ProMar 200 Zero VOC Latex Eg-Shel, B20-2600 Series, at **4.0 mils (0.102 mm) wet, 1.7 mils (0.043 mm) dry, per coat.**

- f. Topcoat: Latex, interior, semi-gloss:
  - 1) S-W ProMar 200 Zero VOC Latex Semi-Gloss, B31-2600 Series, at **4.0 mils (0.102 mm)** wet, **1.6 mils (0.041 mm)** dry, per coat.
- g. Topcoat: Latex, interior, gloss:
  - 1) S-W ProMar 200 Zero VOC Gloss, B21-12650 Series, at **4.0 mils (0.102 mm)** wet, **1.5 mils (0.038 mm)** dry, per coat.
- 2. Water-Based Light Industrial Coating System:
  - a. Block Filler: Block filler, latex, interior/exterior:
    - 1) S-W PrepRite Block Filler, B25W25, at **75-125 sq. ft. per gal. (1.84 to 3.07 sq. m per liter)**.
  - b. Intermediate Coat: Light industrial coating, interior, water based, matching topcoat.
  - c. Topcoat: Light industrial coating, interior, water based, eggshell:
    - 1) S-W Pro Industrial Pre-Catalyzed Water Based Epoxy, K45-151 Series, at **4.0 mils (0.102 mm)** wet, **1.5 mils (0.038 mm)** dry, per coat.
  - d. Topcoat: Light industrial coating, interior, water based, semi-gloss:
    - 1) S-W Pro Industrial Pre-Catalyzed Water Based Epoxy, K46-151 Series, at **4.0 mils (0.102 mm)** wet, **1.5 mils (0.038 mm)** dry, per coat.
- 3. Concrete Stain System (Water-based):
  - a. First Coat:
    - 1) S-W H&C Colortop Water-Based Solid Color Concrete Stain, at **50 to 300 sq. ft. per gal. (1.23 to 7.36 sq. m per liter)**.
  - b. Second Coat:
    - 1) S-W H&C Colortop Water-Based Solid Color Concrete Stain, at **50 to 300 sq. ft. per gal. (1.23 to 7.36 sq. m per liter)**.
- 4. Two-Component Epoxy and Epoxy High Build Systems for Non-Traffic Surfaces: Refer to Section 099600 "High-Performance Coatings."
- 5. Epoxy and Urethane Coatings: Refer to Section 099600 "High-Performance Coatings."
- D. Metal Substrates (Aluminum, Steel, Galvanized Steel):
  - 1. Latex System:
    - a. Prime Coat: Primer, rust-inhibitive, water based:
      - 1) S-W Pro Industrial Pro-Cryl Universal Primer, B66-310 Series, at **5.0 to 10 mils (0.127 to 0.254 mm)** wet, **2.0 to 4.0 mils (0.051 to 0.102 mm)** dry.

- b. Intermediate Coat: Water-based acrylic, interior, matching topcoat.
  - c. Topcoat: Water-based acrylic, semi-gloss:
    - 1) **S-W Pro Industrial Acrylic Semi-Gloss Coating, B66-650 Series, at 2.5 to 4.0 mils (0.064 to 0.102 mm) dry, per coat.**
  - d. Topcoat: Water-based acrylic, gloss:
    - 1) **S-W Pro Industrial Acrylic Gloss Coating, B66-660 Series, at 2.5 to 4.0 mils (0.064 to 0.102 mm) dry, per coat.**
2. Water-Based Dry-Fall System:
- a. Top Coat: Dry-fall latex, flat:
    - 1) **S-W Pro Industrial Waterborne Acrylic Dryfall Flat, B42-181 Series, at 6.0 mils (0.152 mm) wet, 1.5 mils (0.038 mm) dry.**
  - b. Top Coat: Dry-fall latex, eggshell:
    - 1) **S-W Pro Industrial Waterborne Acrylic DryFall Eg-Shel, B42-82, at 6.0 mils (0.152 mm) wet, 1.9 mils (0.048 mm) dry.**
  - c. Top Coat: Dry-fall latex, semi-gloss:
    - 1) **S-W Pro Industrial Waterborne Acrylic DryFall Semi-Gloss, B42-83, at 5.8 mils (0.147 mm) wet, 2.3 mils (0.058 mm) dry.**
3. Water-Based Light Industrial Coating System:
- a. Prime Coat: Primer, rust-inhibitive, water based:
    - 1) **S-W Pro Industrial Pro-Cryl Universal Primer, B66-310 Series, at 5.0 to 10 mils (0.127 to 0.254 mm) wet, 2.0 to 4.0 mils (0.051 to 0.102 mm) dry.**
  - b. Intermediate Coat: Light industrial coating, interior, water based, matching topcoat.
  - c. Topcoat: Light industrial coating, interior, water based, eggshell:
    - 1) **S-W Pro Industrial Pre-Catalyzed Water Based Epoxy, K45-151 Series, at 4.0 mils (0.102 mm) wet, 1.5 mils (0.038 mm) dry, per coat.**
  - d. Topcoat: Light industrial coating, interior, water based, semi-gloss:
    - 1) **S-W Pro Industrial Pre-Catalyzed Water Based Epoxy, K46-151 Series, at 4.0 mils (0.102 mm) wet, 1.5 mils (0.038 mm) dry, per coat.**
4. Two-Component Epoxy and Epoxy High Build Systems: Refer to Section 099600 "High-Performance Coatings."
5. Waterbased/Alkyd Urethane System:
- a. Prime Coat:



- 1) S-W Pro Industrial Pro-Cryl Universal Primer, B66-310 Series, at **5.0 to 10 mils (0.127 to 0.254 mm)** wet, **2.0 to 4.0 mils (0.051 to 0.102 mm)** dry.
  - b. Intermediate Coat: Water-based acrylic-alkyd, interior, matching topcoat.
  - c. Topcoat: Water-based alkyd-urethane, semi-gloss, interior:
    - 1) S-W Pro Industrial Waterbased Alkyd Urethane Semi-Gloss, B53-1150 Series, at **4.0 mils (0.102 mm)** wet, **1.4 mils (0.036 mm)** dry, per coat.
  - d. Topcoat: Water-based alkyd-urethane, gloss, interior:
    - 1) S-W Pro Industrial Waterbased Alkyd Urethane Gloss, B53-1050 Series, at **4.0 mils (0.102 mm)** wet, **1.4 mils (0.036 mm)** dry, per coat.
- E. Wood Substrates: Including exposed wood items not indicated to receive shop-applied finish.
- 1. Latex System:
    - a. Prime Coat: Primer sealer, latex, interior:
      - 1) S-W PrepRite ProBlock Primer Sealer, B51-620 Series, at **4.0 mils (0.102 mm)** wet, **1.4 mils (0.036 mm)** dry.
    - b. Intermediate Coat: Latex, interior, matching topcoat.
    - c. Topcoat: Latex, interior, eggshell:
      - 1) S-W ProMar 200 Zero VOC Latex Eg-Shel, B20-2600 Series, at **4.0 mils (0.102 mm)** wet, **1.7 mils (0.043 mm)** dry, per coat.
    - d. Topcoat: Latex, interior, semi-gloss:
      - 1) S-W ProMar 200 Zero VOC Latex Semi-Gloss, B31-2600 Series, at **4.0 mils (0.102 mm)** wet, **1.6 mils (0.041 mm)** dry, per coat.
    - e. Topcoat: Latex, interior, gloss:
      - 1) S-W ProMar 200 Zero VOC Gloss, B21-12650 Series, at **4.0 mils (0.102 mm)** wet, **1.5 mils (0.038 mm)** dry, per coat.
  - 2. Waterbased/Alkyd Urethane System:
    - a. Prime Coat: Primer sealer, latex, interior:
      - 1) S-W Premium Wall & Wood Primer, B28W8111, at **4.0 mils (0.102 mm)** wet, **1.8 mils (0.046 mm)** dry.
    - b. Intermediate Coat: Water-based alkyd-urethane, interior, matching topcoat.
    - c. Topcoat: Water-based alkyd-urethane, semi-gloss, interior:
      - 1) S-W Pro Industrial Waterbased Alkyd Urethane Semi-Gloss, B53-1150 Series, at **4.0 mils (0.102 mm)** wet, **1.4 mils (0.036 mm)** dry, per coat.

- d. Topcoat: Water-based alkyd-urethane, gloss, interior:
  - 1) S-W Pro Industrial Waterbased Alkyd Urethane Gloss, B53-1050 Series, at 4.0 mils (0.102 mm) wet, 1.4 mils (0.036 mm) dry, per coat.
- 3. Water-Based Light Industrial Coating System:
  - a. Prime Coat: Primer sealer, latex, interior:
    - 1) S-W PrepRite ProBlock Primer Sealer, B51-620 Series, at 4.0 mils (0.102 mm) wet, 1.4 mils (0.036 mm) dry.
  - b. Intermediate Coat: Light industrial coating, interior, water based, matching topcoat.
  - c. Topcoat: Light industrial coating, interior, water based, eggshell:
    - 1) S-W Pro Industrial Pre-Catalyzed Water Based Epoxy, K45-151 Series, at 4.0 mils (0.102 mm) wet, 1.5 mils (0.038 mm) dry, per coat.
  - d. Topcoat: Light industrial coating, interior, water based, semi-gloss:
    - 1) S-W Pro Industrial Pre-Catalyzed Water Based Epoxy, K46-151 Series, at 4.0 mils (0.102 mm) wet, 1.5 mils (0.038 mm) dry, per coat.
- 4. Two-Component Epoxy and Epoxy High Build Systems: Refer to Section 099600 "High-Performance Coatings."
- F. Wood Substrates, Pedestrian Traffic Surfaces:
  - 1. Latex Floor Enamel System:
    - a. First Coat: Floor paint, latex, slip-resistant, matching topcoat.
    - b. Topcoat: Floor paint, latex, slip-resistant, low gloss:
      - 1) S-W ArmorSeal Tread-Plex, B90 Series, at 1.5 to 2.0 mils (0.038 to 0.051 mm) dry per coat.
- G. [Gypsum Board] [Plaster] [and] [Spray-Texture Ceiling] Substrates:
  - 1. Latex System:
    - a. Prime Coat: Primer, latex, interior:
      - 1) S-W ProMar 200 Zero VOC Latex Primer, B28W2600, at 4.0 mils (0.102 mm) wet, 1.0 mils (0.025 mm) dry.
    - b. Intermediate Coat: Latex, interior, matching topcoat.
    - c. Topcoat: Latex, interior, flat:
      - 1) S-W ProMar 200 Zero VOC Latex Flat, B30-2600 Series, at 4.0 mils (0.102 mm) wet, 1.6 mils (0.041 mm) dry, per coat.
    - d. Topcoat: Latex, interior, low sheen:

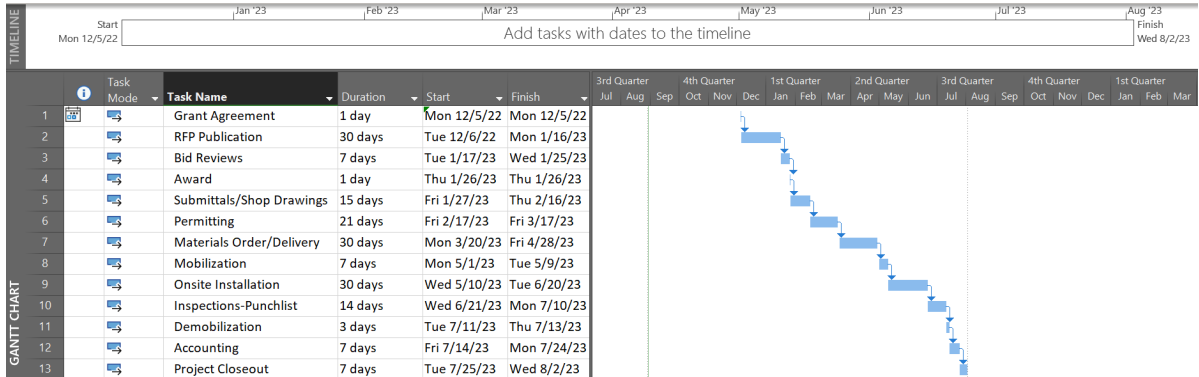
- 1) S-W ProMar 200 Zero VOC Latex Low Sheen Enamel, B24-2600 Series, at **4.0 mils (0.102 mm)** wet, **1.6 mils (0.041 mm)** dry, per coat.
- e. Topcoat: Latex, interior, eggshell:
  - 1) S-W ProMar 200 Zero VOC Latex Eg-Shel, B20-2600 Series, at **4.0 mils (0.102 mm)** wet, **1.7 mils (0.043 mm)** dry, per coat.
- f. Topcoat: Latex, interior, semi-gloss:
  - 1) S-W ProMar 200 Zero VOC Latex Semi-Gloss, B31-2600 Series, at **4.0 mils (0.102 mm)** wet, **1.6 mils (0.041 mm)** dry, per coat.
- g. Topcoat: Latex, interior, gloss:
  - 1) S-W ProMar 200 Zero VOC Gloss, B21-12650 Series, at **4.0 mils (0.102 mm)** wet, **1.5 mils (0.038 mm)** dry, per coat.
2. Water-Based Light Industrial Coating System:
  - a. Prime Coat: Primer sealer, latex, interior:
    - 1) S-W ProMar 200 Zero VOC Latex Primer, B28W2600, at **4.0 mils (0.102 mm)** wet, **1.0 mils (0.025 mm)** dry.
  - b. Intermediate Coat: Light industrial coating, interior, water based, matching topcoat.
  - c. Topcoat: Light industrial coating, interior, water based, eggshell:
    - 1) S-W Pro Industrial Pre-Catalyzed Waterbased Epoxy, K45-151 Series, at **4.0 mils (0.102 mm)** wet, **1.5 mils (0.038 mm)** dry, per coat.
  - d. Topcoat: Light industrial coating, interior, water based, semi-gloss:
    - 1) S-W Pro Industrial Pre-Catalyzed Waterbased Epoxy, K46-151 Series, at **4.0 mils (0.102 mm)** wet, **1.5 mils (0.038 mm)** dry, per coat.
3. Two-Component Epoxy and Epoxy High Build Systems for Non-Traffic Surfaces: Refer to Section 099600 "High-Performance Coatings."

END OF SECTION 099123

## Deliverable Materials

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All materials used will be sourced locally if possible.



## Contractor Responsibilities

The contractor will ensure a timely and workmanlike completion of the work using local labor and suppliers according to the CDBG specifications for current Davis-Bacon wage determinations and time constrictions.

## Client Responsibilities

The Client will agree to provide access to the site to complete the work per agreement.

## Fee Schedule

FitzHouse Enterprises, as a 501c2 holding company for WestCare exists to support the mission of WestCare and as such does not profit from work it provides as a service to WestCare.

**FitzHouse Enterprises, has also designated a contingency fund of \$9,500 to cover incidentals such as bid publication, contract selection and unforeseen costs in the project.**

Interior Paint	11820	SF
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Turning Point Interior Paint		
Targeted Building Costs		
Code	Name	Est
<u>0</u>	Procurement and Contracting Require	
	Conditions of Contract	\$ 7,485.00
<u>1</u>	General Requirements	
	Admin Req	\$ 16,356.00
	Execution & Close Out	\$ 5,784.00
<u>3</u>	Concrete	
	Floor Preparation	
<u>5</u>	Metals	
	Cold Formed Metal Framing	
	Fabrications	
	Structural Metal Framing	
<u>8</u>	Openings	
	Doors & Frames	
<u>9</u>	Finishes	
	Metal Framing & Gypsum Board	
	Painting & Coating	\$ 112,800.00
	New Ceiling Tiles	\$ 23,125.00
	Flooring Installed	
<u>10</u>	Specialties	
	Hardware	
<u>12</u>	Furnishings	
	New Stove	
	New Walk In Cooler	
	New Grease Trap	
	New Dishwasher	
<u>22</u>	Plumbing	
	Remove, Cap and Route	
23	HVAC	
	Remove and Replace Area HVAC	
<u>26</u>	Electrical	
	Demo, Plugs and Lighting	
	<b>Total Building Costs</b>	<b>\$ 165,550.00</b>
Targeted Non Building Costs		
Code	Name	
<u>2</u>	Existing Conditions	
	Demolition of Existing Ceiling Tiles	\$ 8,865.00
	<b>Total Non Building Costs</b>	<b>\$ 8,865.00</b>
	<b>Total Project Costs</b>	<b>\$ 174,415.00</b>

**IN WITNESS WHEREOF**, the parties hereto have caused this SOW to be effective as of the day, month and year first written above.

WestCare-Gulf Coast

FitzHouse Enterprises, Inc.

By: \_\_\_\_\_  
Name:  
Title:

By: \_\_\_\_\_  
Name:  
Title:

## FitzHouse Enterprises, Inc.

207 West Main St  
Dandridge TN 37725

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### SOW Turning Point Kitchen Renovation (1801 5<sup>th</sup> Ave North, St Petersburg FL 33713)

Date	Services Performed By:	Services Performed For:
08/29/2022	FitzHouse Enterprises, Inc. 207 West Main St Dandridge, TN 37725	WestCare-Gulf Coast 1801 5th Ave North St Petersburg FL 33713

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This Scope of Work (SOW) is issued pursuant to the Charter agreement between WestCare-Gulf Coast (“Client”) and FitzHouse Enterprises, Inc. (“Contractor”), effective 08/29/2022 (the “Agreement”). This SOW is subject to the terms and conditions contained in the Agreement between the parties and is made a part thereof. Any term not otherwise defined herein shall have the meaning specified in the Agreement. In the event of any conflict or inconsistency between the terms of this SOW and the terms of this Agreement, the terms of this SOW shall govern and prevail.

This Scope of Work (hereinafter called the “SOW”), effective as of 08/29/2022, is entered into by and between Contractor and Client, and is subject to the terms and conditions specified below. The Exhibit(s) to this SOW, if any, shall be deemed to be a part hereof. In the event of any inconsistencies between the terms of the body of this SOW and the terms of the Exhibit(s) hereto, the terms of the body of this SOW shall prevail.

## Period of Performance

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The Services shall commence on execution of grant and shall continue through Completion of project.

# Scope of Work

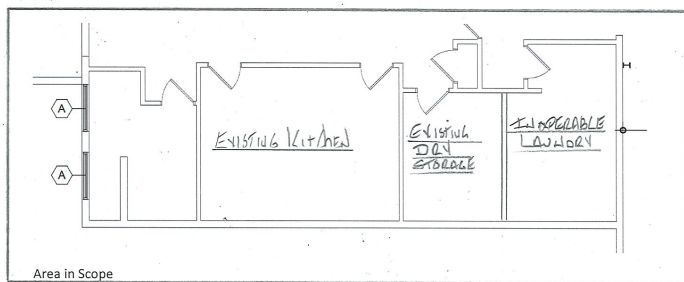
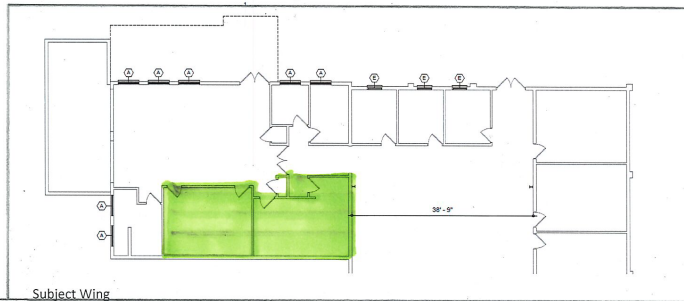
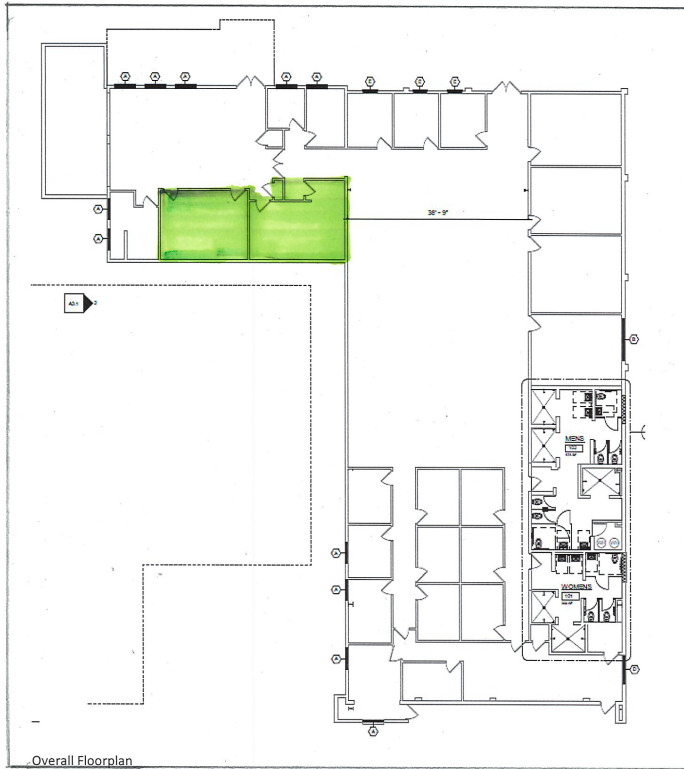
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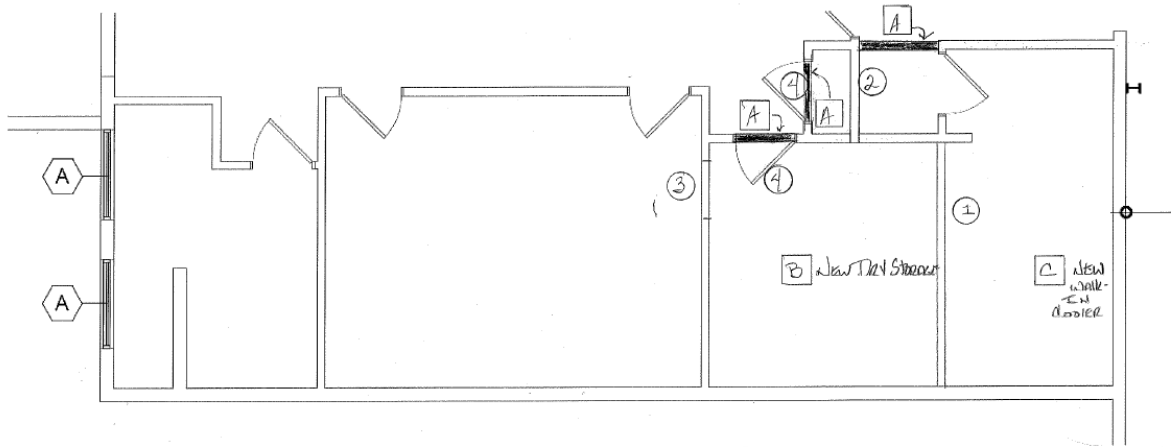
Contractor shall provide the Services and Deliverable(s) as follows:

- 1) Design and construction of Kitchen renovation
- 2) Coordination of all onsite activities.
- 3) Manage all design requirements for permitting and construction.

Turning Point Kitchen Details

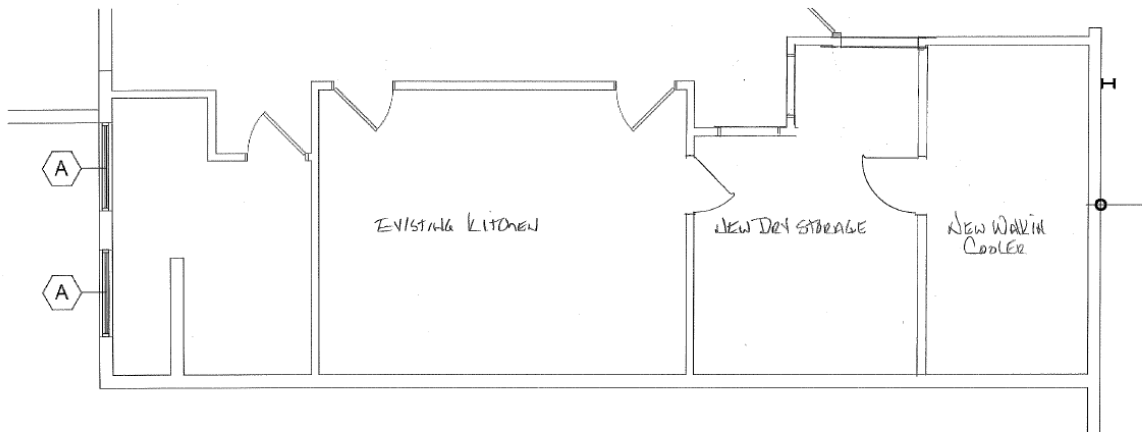






- ① REMOVE EXISTING PLUMBING & FIXTURES
- ② REMOVE EXISTING WALL (SELECTIVE)
- ③ REMOVE PROVIDE NEW DOOR OPENING
- Ⓐ REMOVE EXISTING DOOR

- Ⓐ NEW FRAMED WALL ASSEMBLY
- Ⓑ NEW DEN STORAGE
- Ⓒ NEW WALK-IN COOLER



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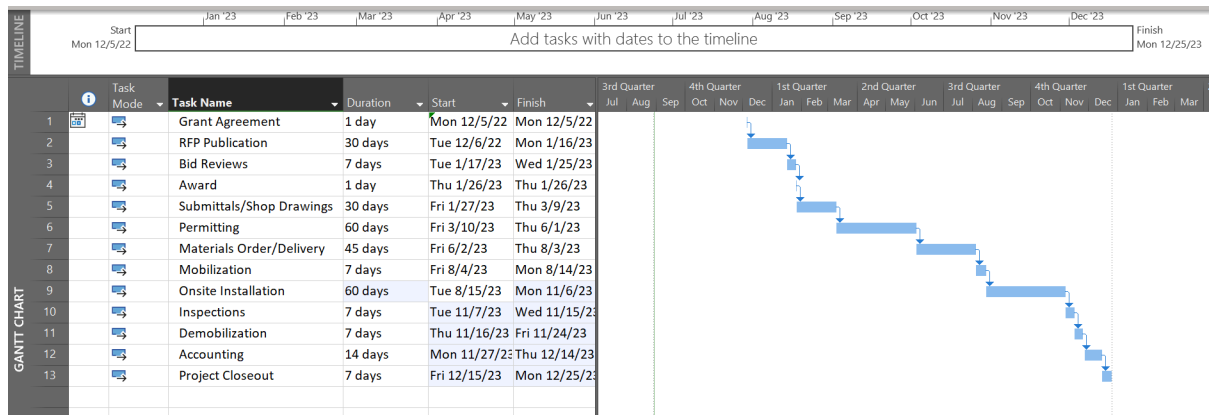
## Deliverable Materials

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All materials used will be sourced locally if possible.

New Walk In Cooler	162	SF
New Dry Storage	220	SF
New Stove	1	EA
New HVAC	1	EA
Electrical	1	LS
Plumbing	1	LS
New Tile Flooring	632	SF
New Dishwasher	1	EA


### Kitchen Renovation Timeline



## Contractor Responsibilities

The contractor will ensure a timely and workmanlike completion of the work using local labor and suppliers according to the CDBG specifications for current Davis-Bacon wage determinations and time restrictions.

## Client Responsibilities

The Client will agree to provide access to the site to complete the work per agreement.

## Fee Schedule

FitzHouse Enterprises, as a 501c2 holding company for WestCare exists to support the mission of WestCare and as such does not profit from work it provides as a service to WestCare.

FitzHouse Enterprises, has also designated a contingency fund of \$9,500 to cover incidentals such as bid publication, contract selection and unforeseen costs in the project.

Turning Point Kitchen Renovation

Targeted Building Costs

Code	Name	Est
<u>0</u>	Procurement and Contracting Require	
	Conditions of Contract	\$ 18,659.00
<u>1</u>	General Requirements	
	Admin Req	\$ 11,542.00
	Execution & Close Out	\$ 9,654.00
<u>3</u>	Concrete	
	Tile Floor Preparation	\$ 2,117.20
<u>5</u>	Metals	
	Cold Formed Metal Framing	\$ 3,150.00
	Fabrications	
	Structural Metal Framing	
<u>8</u>	Openings	
	Doors & Frames	\$ 5,400.00
<u>9</u>	Finishes	
	Metal Framing & Gypsum Board	\$ 19,862.00
	Painting & Coating	\$ 7,614.00
	New Ceiling Assembly	\$ 22,120.00
	Tiling	\$ 12,640.00
<u>10</u>	Specialties	
	Millwork & Shelving	\$ 16,482.00
<u>12</u>	Furnishings	
	New Stove	\$ 11,257.00
	New Walk In Cooler	\$ 63,215.00
	New Grease Trap	\$ 24,580.00
	New Dishwasher	\$ 23,686.00
<u>22</u>	Plumbing	
	Remove, Cap and Route	\$ 26,632.00
23	HVAC	
	Remove and Replace Area HVAC	\$ 19,878.00
<u>26</u>	Electrical	
	Demo, Plugs and Lighting	\$ 36,541.00
	<b>Total Building Costs</b>	<b>\$ 335,029.20</b>

Targeted Non Building Costs

Code	Name	Est
<u>2</u>	Existing Conditions	
	Selective Demo	\$ 16,250.00
	<b>Total Non Building Costs</b>	<b>\$ 16,250.00</b>
	<b>Total Project Costs</b>	<b>\$ 351,279.20</b>



**IN WITNESS WHEREOF**, the parties hereto have caused this SOW to be effective as of the day, month and year first written above.

WestCare-Gulf Coast

FitzHouse Enterprises, Inc.

By: \_\_\_\_\_  
Name:  
Title:

By: \_\_\_\_\_  
Name:  
Title:



## FitzHouse Enterprises, Inc.

207 West Main St  
Dandridge TN 37725

### SOW Turning Point Roof (1801 5<sup>th</sup> Ave North, St Petersburg FL 33713)

Date	Services Performed By:	Services Performed For:
08/29/2022	FitzHouse Enterprises, Inc. 207 West Main St Dandridge, TN 37725	WestCare-Gulf Coast 1801 5th Ave North St Petersburg FL 33713

This Scope of Work (SOW) is issued pursuant to the Charter agreement between WestCare-Gulf Coast (“Client”) and FitzHouse Enterprises, Inc. (“Contractor”), effective 08/29/2022 (the “Agreement”). This SOW is subject to the terms and conditions contained in the Agreement between the parties and is made a part thereof. Any term not otherwise defined herein shall have the meaning specified in the Agreement. In the event of any conflict or inconsistency between the terms of this SOW and the terms of this Agreement, the terms of this SOW shall govern and prevail.

This Scope of Work (hereinafter called the “SOW”), effective as of 08/29/2022, is entered into by and between Contractor and Client, and is subject to the terms and conditions specified below. The Exhibit(s) to this SOW, if any, shall be deemed to be a part hereof. In the event of any inconsistencies between the terms of the body of this SOW and the terms of the Exhibit(s) hereto, the terms of the body of this SOW shall prevail.

## Period of Performance

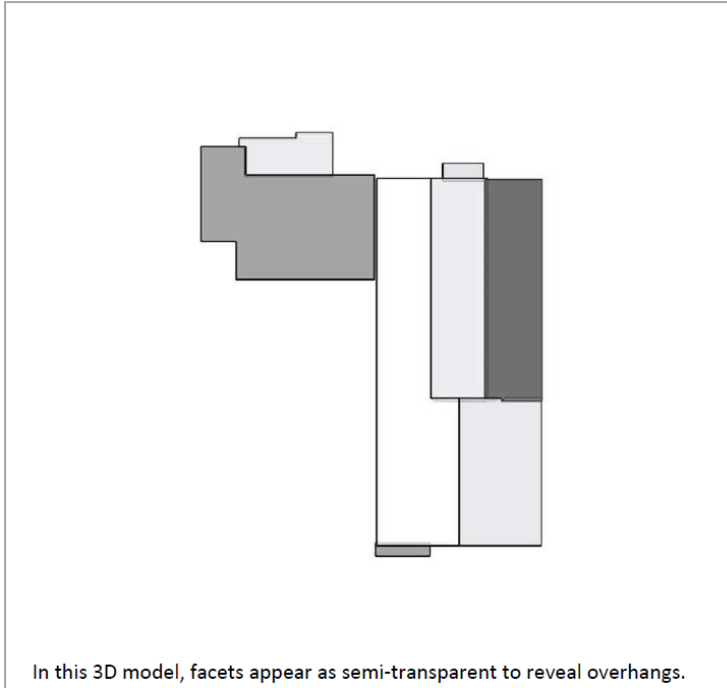
The Services shall commence on execution of grant and shall continue through Completion of project.

## Scope of Work

Contractor shall provide the Services and Deliverable(s) as follows:

- 1) Remove and replace existing roofing and gutter system.
- 2) Coordination of all onsite activities.
- 3) Manage all design requirements for permitting and construction.

#### Turning Point Roof Details



## MEASUREMENTS

Total Roof Area = 11,820 sq ft  
Total Roof Facets = 8  
Predominant Pitch = 4/12  
Number of Stories > 1  
Total Ridges/Hips = 136 ft  
Total Valleys = 0 ft  
Total Rakes = 170 ft  
Total Eaves = 521 ft  
Total Penetrations = 12  
Total Penetrations Perimeter = 143 ft  
Total Penetrations Area = 122 sq ft

The following aerial images show different angles of this structure for your reference.

Top View



North Side



South Side



East Side



West Side

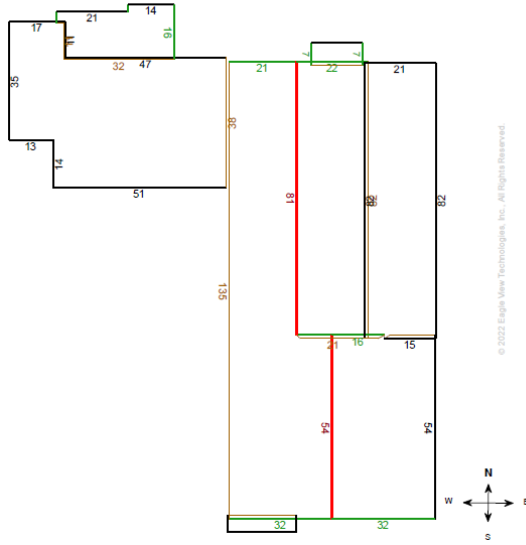


## LENGTH DIAGRAM

Total Line Lengths:  
**Ridges = 136 ft**  
 Hips = 0 ft

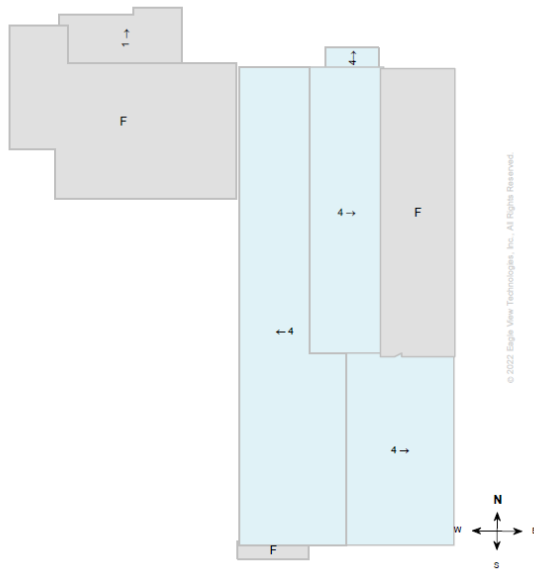
Valleys = 0 ft  
 Rakes = 170 ft  
 Eaves = 521 ft

Flashing = 332 ft  
 Step flashing = 49 ft  
 Parapets = 0 ft



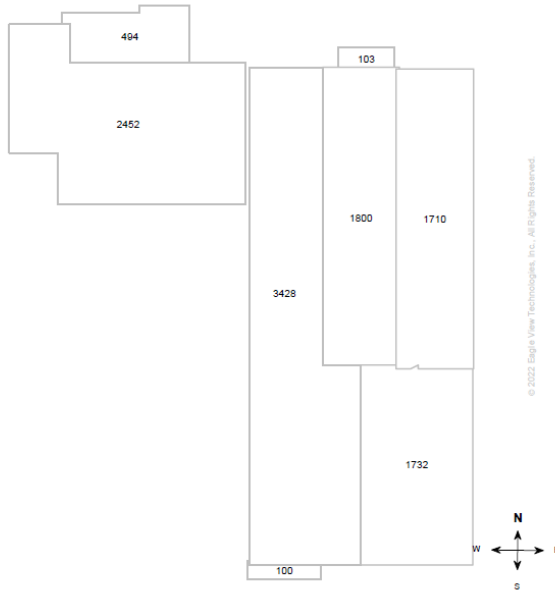
## PITCH DIAGRAM

Pitch values are shown in inches per foot, and arrows indicate slope direction. The predominant pitch on this roof is 4/12



## AREA DIAGRAM

Total Area = 11,820 sq ft, with 8 facets.



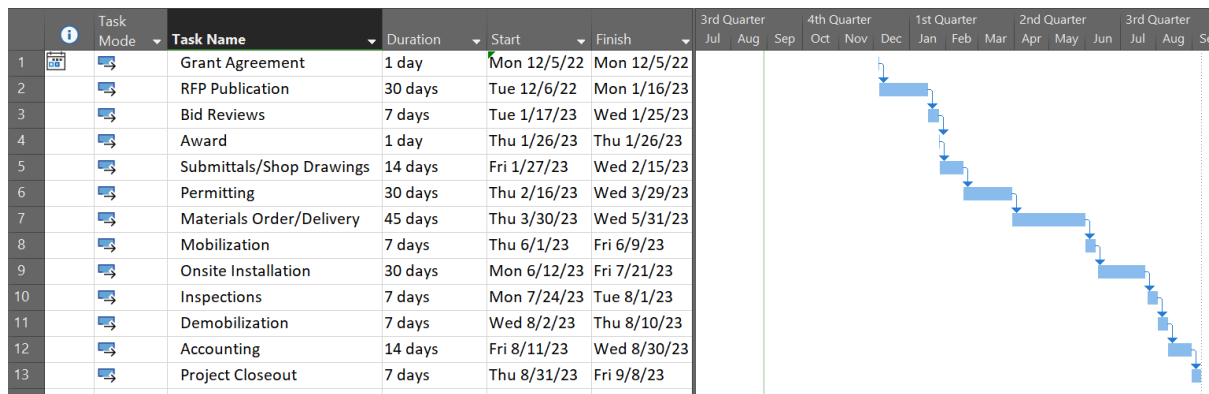
## Deliverable Materials

All materials used will be sourced locally if possible.

New Roof Area	11820	SF
Integrated Gutter	216	LF

Ridge	136	LF
Rakes	170	LF
Eaves	521	LF
Flashing	332	LF
Step Flashing	49	LF
Penetrations	12	EA
Penetrations Area	122	SF

### Nurses Station Timeline



## Contractor Responsibilities

The contractor will ensure a timely and workmanlike completion of the work using local labor and suppliers according to the CDBG specifications for current Davis-Bacon wage determinations and time constrictions.

## Client Responsibilities

The Client will agree to provide access to the site to complete the work per agreement.



## Fee Schedule

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FitzHouse Enterprises, as a 501c2 holding company for WestCare exists to support the mission of WestCare and as such does not profit from work it provides as a service to WestCare.

**FitzHouse Enterprises, has also designated a contingency fund of \$9,500 to cover incidentals such as bid publication, contract selection and unforeseen costs in the project.**

**Turning Point Roof Replacement**

**Targeted Building Costs**

Code	Name	Est
<u>0</u>	Procurement and Contracting Require	
	Conditions of Contract	\$ 12,564.00
<u>1</u>	General Requirements	
	Admin Req	\$ 6,598.00
	Execution & Close Out	\$ 6,245.00
<u>3</u>	Concrete	
	Underlayment and Waterproofing	
<u>5</u>	Metals	
	Cold Formed Metal Framing	
	Fabrications	\$ 236,000.00
	Structural Metal Framing	
<u>8</u>	Openings	
	Doors & Frames	
<u>9</u>	Finishes	
	Metal Framing & Gypsum Board	
	Painting & Coating	
	Tiling	
<u>10</u>	Specialties	
	Millwork	
<u>12</u>	Furnishings	
	Countertops	
<u>22</u>	Plumbing	
	Remove and Re-Install Equipment	
	Fixtures	
	Piping	
<u>26</u>	Electrical	
	Lighting	
	<b>Total Building Costs</b>	<b>\$ 261,407.00</b>

**Targeted Non Building Costs**

Code	Name	Est
<u>2</u>	Existing Conditions	
	Selective Demo	\$ 18,000.00
	<b>Total Non Building Costs</b>	<b>\$ 18,000.00</b>

**Total Project Costs \$ 279,407.00**



**IN WITNESS WHEREOF**, the parties hereto have caused this SOW to be effective as of the day, month and year first written above.

WestCare-Gulf Coast

FitzHouse Enterprises, Inc.

By: \_\_\_\_\_  
Name:  
Title:

By: \_\_\_\_\_  
Name:  
Title:

## FitzHouse Enterprises, Inc.

207 West Main St  
Dandridge TN 37725

### SOW Turning Point Nurse’s Station (1801 5<sup>th</sup> Ave North, St Petersburg FL 33713)

Date	Services Performed By:	Services Performed For:
08/29/2022	FitzHouse Enterprises, Inc. 207 West Main St Dandridge, TN 37725	WestCare-Gulf Coast 1801 5th Ave North St Petersburg FL 33713

This Scope of Work (SOW) is issued pursuant to the Charter agreement between WestCare-Gulf Coast (“Client”) and FitzHouse Enterprises, Inc. (“Contractor”), effective 08/29/2022 (the “Agreement”). This SOW is subject to the terms and conditions contained in the Agreement between the parties and is made a part thereof. Any term not otherwise defined herein shall have the meaning specified in the Agreement. In the event of any conflict or inconsistency between the terms of this SOW and the terms of this Agreement, the terms of this SOW shall govern and prevail.

This Scope of Work (hereinafter called the “SOW”), effective as of 08/29/2022, is entered into by and between Contractor and Client, and is subject to the terms and conditions specified below. The Exhibit(s) to this SOW, if any, shall be deemed to be a part hereof. In the event of any inconsistencies between the terms of the body of this SOW and the terms of the Exhibit(s) hereto, the terms of the body of this SOW shall prevail.

## Period of Performance

The Services shall commence on execution of grant and shall continue through Completion of project.

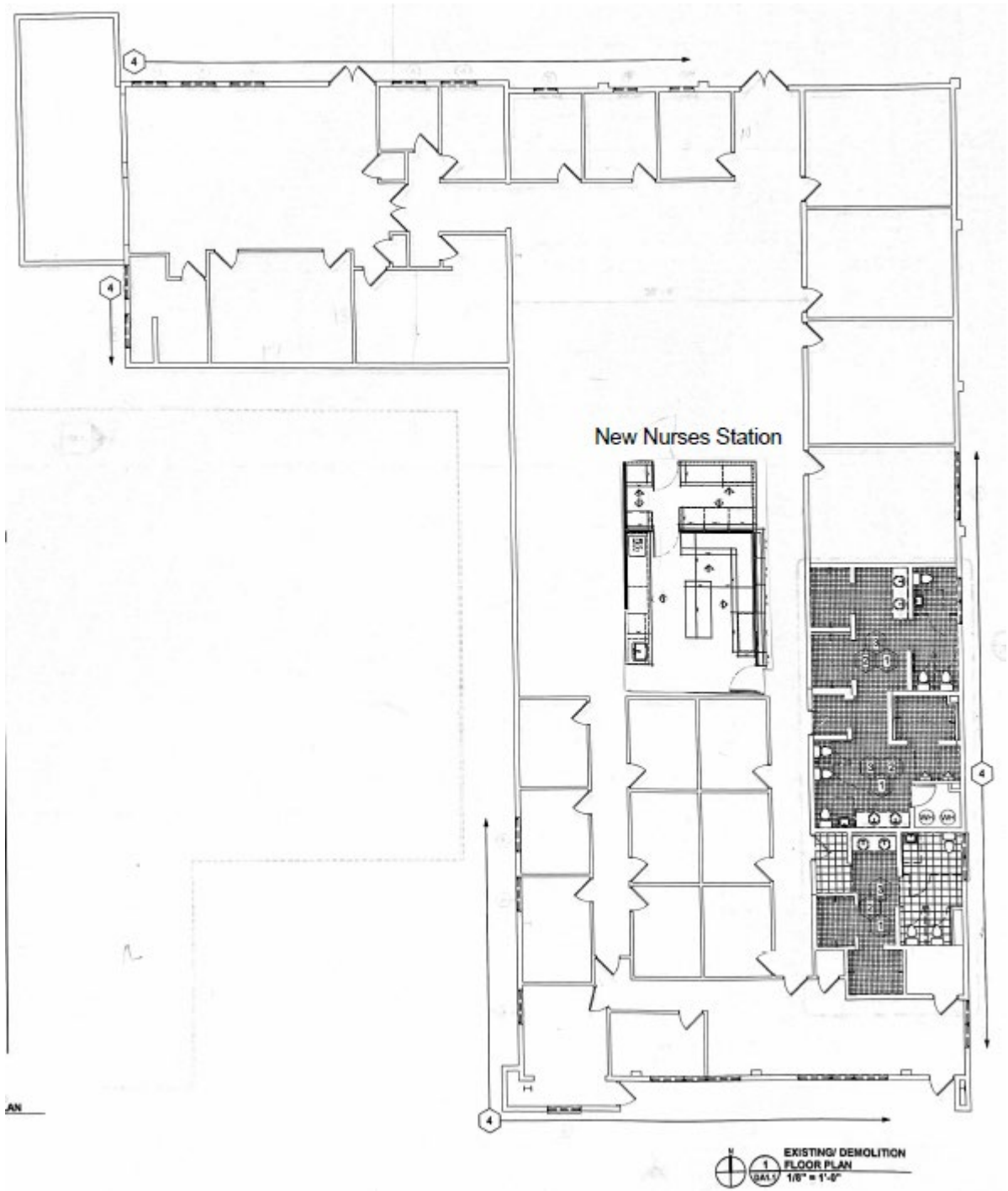
## Scope of Work

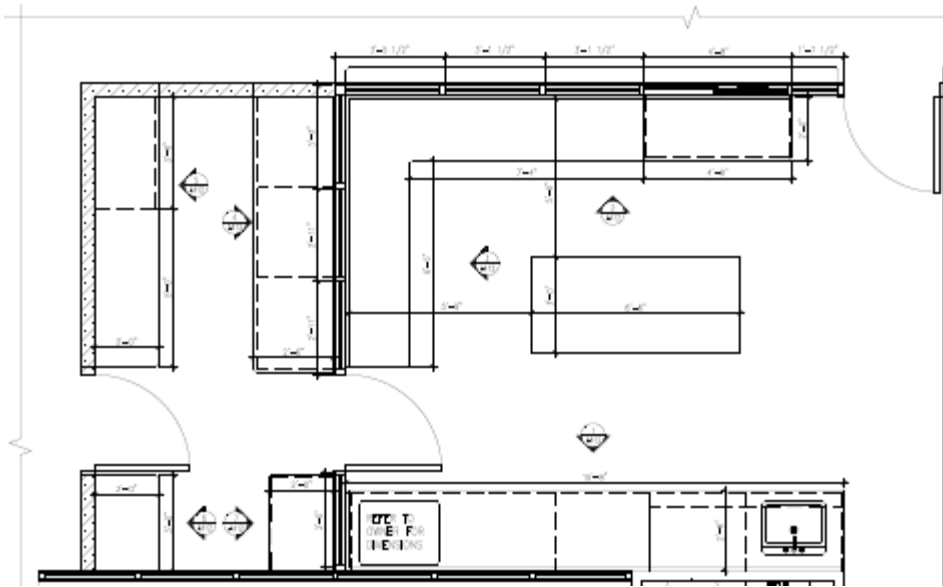
Contractor shall provide the Services and Deliverable(s) as follows:

- 1) Design and construction of new nurses station.

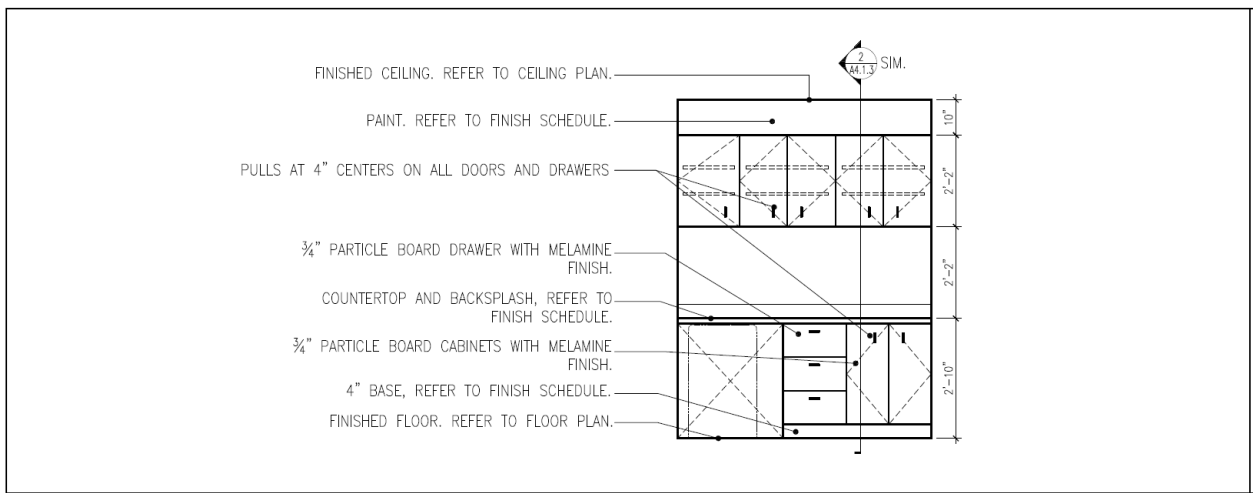
- 2) Coordination of all onsite activities.
- 3) Manage all design requirements for permitting and construction.

Nurse's Station Design Concept

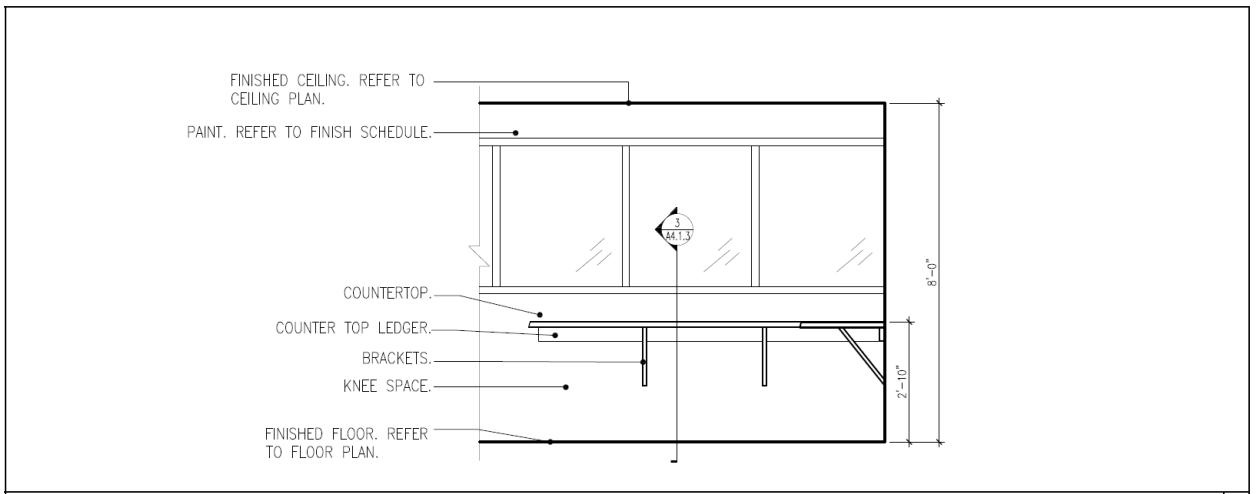




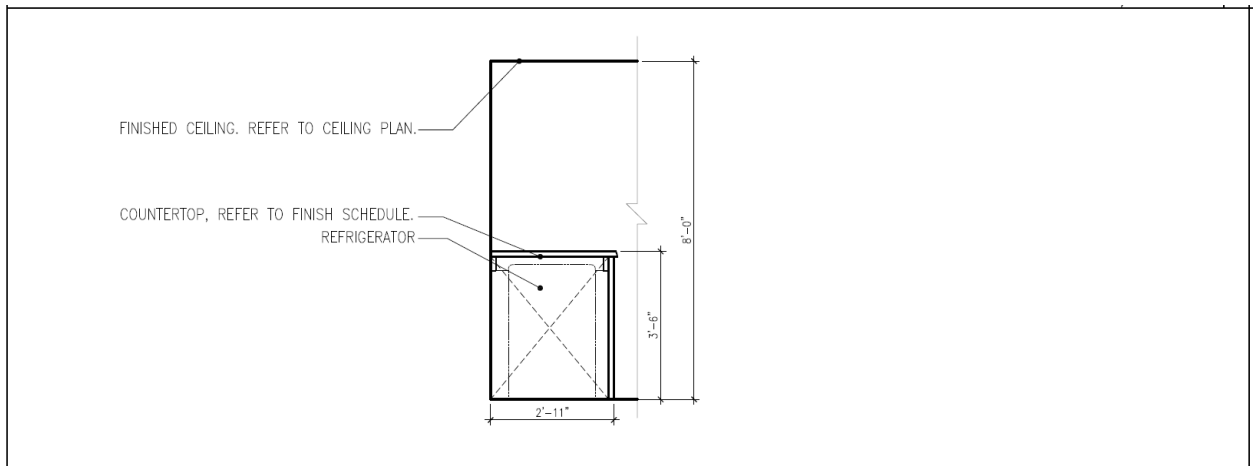
Enlarged Plan View



Cabinet Detail

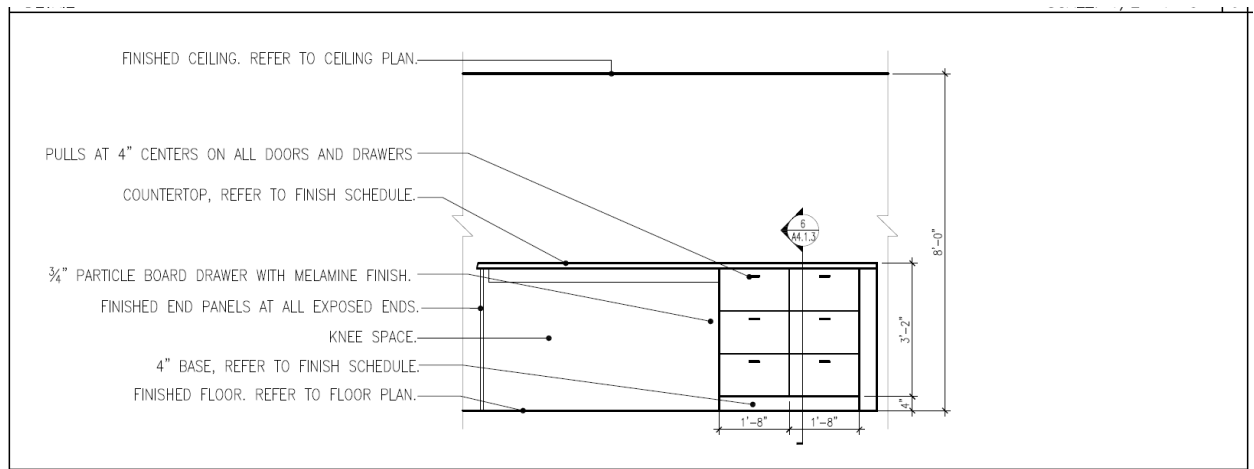
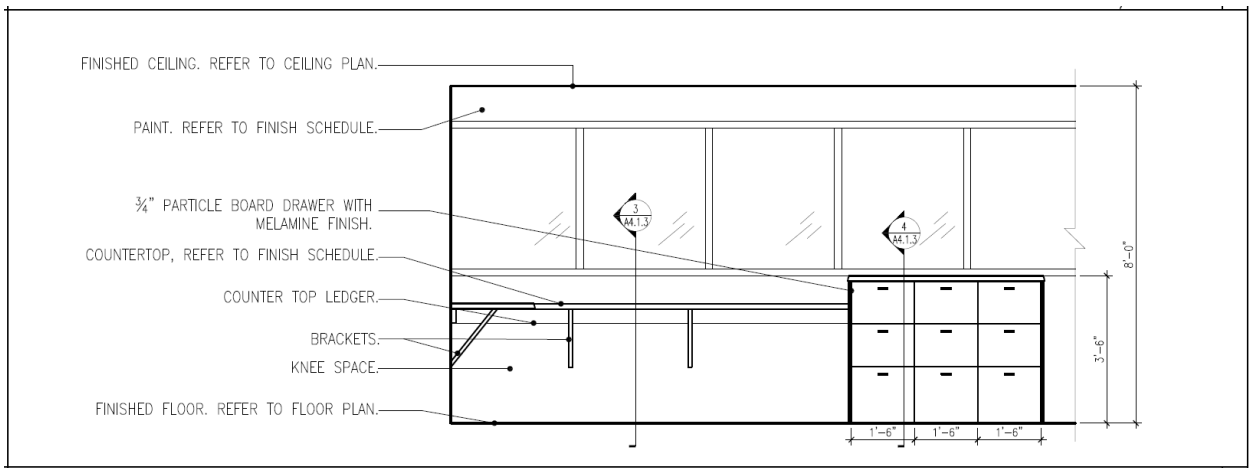


Cabinet Detail

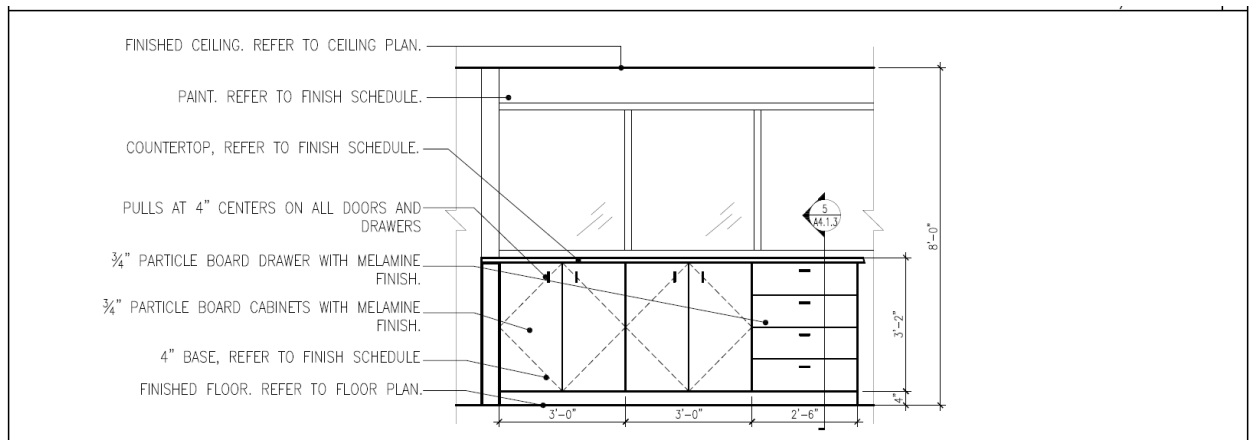


Cabinet and Observation Windows Detail

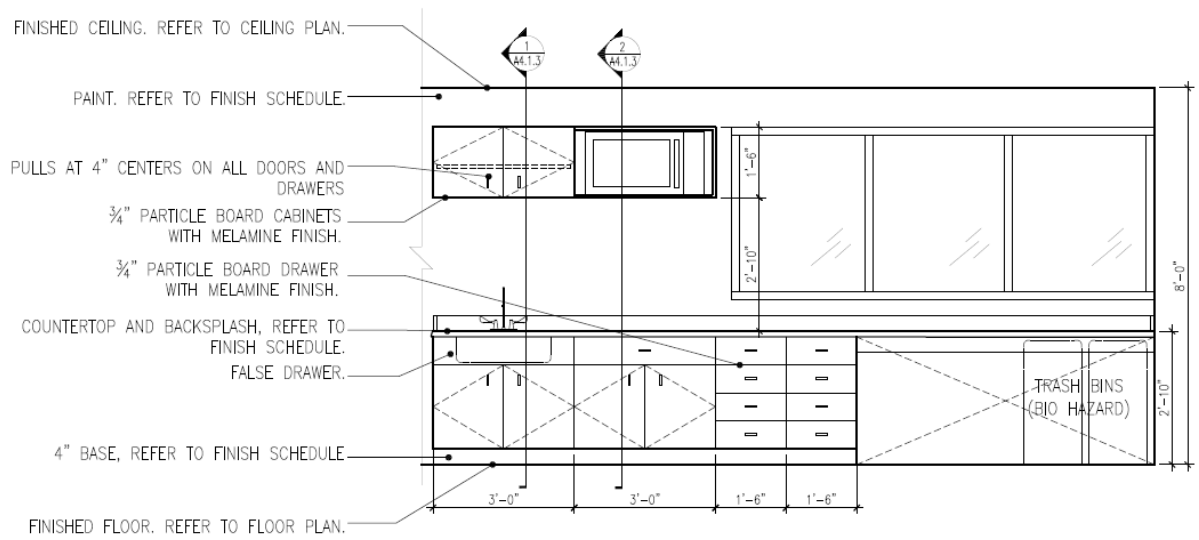




Cabinet Detail



Cabinet and Observation Windows Detail



Cabinet and Observation Windows Detail

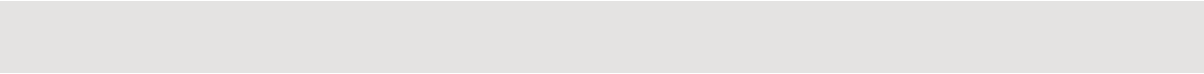
FINISH SCHEDULE LEGEND					
<b>FLOOR</b>					
NOTE	DESCRIPTION	MANUFACTURER	STYLE/MODEL	COLOR	REMARKS
VCT	12"x12" RESILIENT FLOOR TILE	ARMSTRONG	BY OWNER	BY OWNER	MONOLITHIC INSTALLATION
<b>BASE</b>					
NOTE	DESCRIPTION	MANUFACTURER	STYLE/MODEL	COLOR	REMARKS
RB	4" RUBBER BASE	JOHNSONITE	BY OWNER	BY OWNER	
<b>WALLS</b>					
NOTE	DESCRIPTION	MANUFACTURER	STYLE/MODEL	COLOR	REMARKS
PTD 1	PAINTED, EGGSHELL FINISH	SHERWIN WILLIAMS	BY OWNER	BY OWNER	OVERALL PAINT
PTD 2	PAINTED, EGGSHELL FINISH	SHERWIN WILLIAMS	BY OWNER	BY OWNER	ACCENT PAINT—KNEE WALLS
<b>CEILING</b>					
NOTE	DESCRIPTION	MANUFACTURER	STYLE/MODEL	COLOR	REMARKS
GYP	GYP SUM BOARD, PAINTED WHITE, FLAT FINISH	SHERWIN WILLIAMS	SW 7757	HIGH REFLECTIVE WHITE	
ACT-1	24" x 48" LAY IN CEILING TILE — WASHABLE	ARMSTRONG	ULTIMA 1938	WHITE	MEDICAL AREAS
ACT -2	24" x 48" LAY IN CEILING TILE	ARMSTRONG	DUNE 1773	WHITE	HALLWAY
<b>MISC.</b>					
NOTE	DESCRIPTION	MANUFACTURER	STYLE/MODEL	COLOR	REMARKS
STN	DOOR STAIN		BY OWNER	BY OWNER	
QUARTZ	QUARTZ COUNTERTOPS	WILSONART	BY OWNER	BY OWNER	
FINISH SCHEDULE					
ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
NURSE'S STATION	VCT	RB	PTD 1 / PTD 2	ACT 1	PTD-2 ON KNEEWALLS
RESTROOM	VCT	RB	PTD 1	GYP	
MEDICAL PASS	VCT	RB	PTD 1	ACT 1	
HALLWAY	VCT	RB	PTD 1	ACT 2	

**NOTE:**

1. "CONTRACTOR SHALL SUBMIT ALL FINISH SAMPLES, WHETHER INTERIOR OR EXTERIOR, AT THE SAME TIME SO A UNIFORMED, FINAL COLOR AND TEXTURE SELECTION / COORDINATION MAY OCCUR. IF FINISH SAMPLES ARE NOT SUBMITTED AT ONE TIME THEY SHALL BE HELD UNTIL SUCH TIME THAT ALL FINISH SELECTION CAN BE MADE. NOTE: IF CONTRACTOR FAILS TO SUBMIT FINISH SAMPLES IN A TIMELY, COHESIVE FASHION AND CAUSES DELAY IN MATERIAL ORDERING, IT SHALL NOT BE GROUNDS FOR CONTRACT EXTENSION OR REQUEST FOR ADDITIONAL FUNDING BY CONTRACTOR NOR REPRESENTS ANY NEGLIGENT ACT, ERROR, OR OMISSION BY DESIGN PROFESSIONAL. THE CONTRACTOR IS SOLELY LIABLE FOR DELAYS OR MATERIAL COST INCREASES."



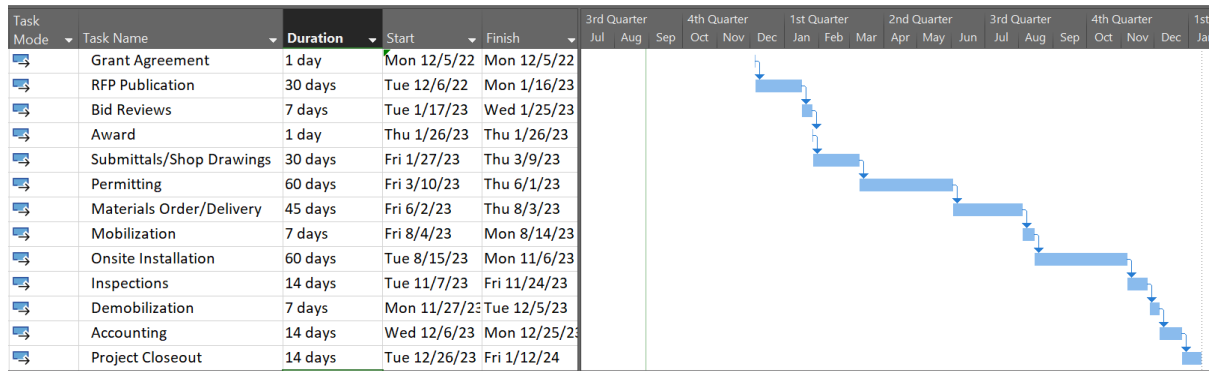
# Deliverable Materials



All materials used will be sourced locally if possible.

<b>New Construction Area</b>	<b>680</b>	<b>SF</b>


Nurses Station Timeline



## Contractor Responsibilities

The contractor will ensure a timely and workmanlike completion of the work using local labor and suppliers according to the CDBG specifications for current Davis-Bacon wage determinations and time constrictions.

## Client Responsibilities

The Client will agree to provide access to the site to complete the work per agreement.

## Fee Schedule

FitzHouse Enterprises, as a 501c2 holding company for WestCare exists to support the mission of WestCare and as such does not profit from work it provides as a service to WestCare.

**FitzHouse Enterprises, has also designated a contingency fund of \$9,500 to cover incidentals such as bid publication, contract selection and unforeseen costs in the project.**



Turning Point Nurses Station

Targeted Building Costs

Code	Name	Est
<u>0</u>	Procurement and Contracting Require	
	Conditions of Contract	\$ 13,589.00
<u>1</u>	General Requirements	
	Admin Req	\$ 8,760.00
	Execution & Close Out	\$ 6,458.00
<u>3</u>	Concrete	
	Underlayment and Waterproofing	
<u>5</u>	Metals	
	Cold Formed Metal Framing	\$ 19,236.00
	Fabrications	\$ 16,543.00
	Structural Metal Framing	
<u>8</u>	Openings	
	Doors & Frames	\$ 35,842.00
<u>9</u>	Finishes	
	Metal Framing & Gypsum Board	\$ 13,524.00
	Painting & Coating	\$ 7,258.00
	Tiling	\$ 6,800.00
<u>10</u>	Specialties	
	Millwork	\$ 63,890.00
<u>12</u>	Furnishings	
	Countertops	\$ 21,521.00
<u>22</u>	Plumbing	
	Remove and Re-Install Equipment	
	Fixtures	\$ 2,654.00
	Piping	
<u>26</u>	Electrical	
	Lighting	\$ 29,865.00
	<b>Total Building Costs</b>	<b>\$ 245,940.00</b>

Targeted Non Building Costs

Code	Name	Est
<u>2</u>	Existing Conditions	
	Selective Demo	\$ 4,500.00
	<b>Total Non Building Costs</b>	<b>\$ 4,500.00</b>

**Total Project Costs** \$ 250,440.00



**IN WITNESS WHEREOF**, the parties hereto have caused this SOW to be effective as of the day, month and year first written above.

WestCare-Gulf Coast

FitzHouse Enterprises, Inc.

By: \_\_\_\_\_  
Name:  
Title:

By: \_\_\_\_\_  
Name:  
Title: